

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
DECEMBER 07, 2021 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 261 009 5007

Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on December 07, 2021 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Vouchers
2. Regular Meeting Minutes - June 1, 2021
3. Regular Meeting Minutes - June 15, 2021
4. Regular Meeting Minutes - July 13, 2021
5. Regular Meeting Minutes - October 19, 2021
6. Regular Meeting Minutes November 9, 2021
7. 2022 Planning Board Nominations

RESOLUTION

8. #56-2021 Damen, Steve & Dovie - 581 Brielle Road

APPLICATION

- [9.](#) #47-2021 - Langella, Thomas & Nancy - 348 Euclid Avenue - Block 115 Lot 2.01
- [10.](#) #48-2021 - White, Thomas & Dattilo, Jeff - 6,7,8 Pearce Court - Block 155 Lots 2,3,4
- [11.](#) #50-2021 - 309 Euclid Avenue LLC - 309 Euclid Avenue - Block 118 Lot 17.01
- [12.](#) #49-2021 MJN, Inc. - 25 Broad Street - Block 35 Lot 10

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

October 26, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1740
Variance – Langella
Block 115, Lot 2.01
348 Euclid Avenue
R-1 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan/Variance Plan prepared by Ray Carpenter, PE, of R.C. Associates Consulting, Inc., dated April 28, 2021, last revised September 29, 2021.
2. Architectural Floor Plans and Elevations prepared by Christopher Rice, RA, of Rice and Brown Architects, dated May 3, 2021.

The property is located in the R-1 Single-Family Residential Zone with frontage on Euclid Avenue. With this application, the applicant proposes to construct a new rear addition on the existing dwelling, new detached garage, paver driveway extension, and interior alterations. The application is deemed complete as of October 26, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-1 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum building coverage of 25% is permitted, whereas a coverage of 31.13% is proposed (27.57% exists).
3. The following non-conformities exist on Lot 2.01 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 7,000 square feet is required, whereas a lot area of 6,000 square feet exists.




Re: Boro File No. MSPB-R1740
Variance – Langella
Block 115, Lot 2.01

October 26, 2021
Sheet 2

- b. A minimum front yard setback of 25 feet is required, whereas a setback of 21.3 feet exists.
4. A revised grading plan for the property must be submitted if any grading changes or fill are proposed.
5. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition and garage do not increase the building coverage by more than 500 square feet.
6. It appears that no existing trees will be removed as part of the application.
7. If a landing or expanded paver area is proposed for the rear stairs, it should be shown on the plan. It should be noted that it does not appear that such a landing would create an additional variance.
8. If proposed, the location of any additional air conditioning units must be shown on the plan. They must be located outside of the side yard setback area or a variance must be requested.
9. Any curb and sidewalk must be replaced along Euclid Avenue.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Michael Henderson, esq.
52 Abe Voorhees Drive, Manasquan, NJ 08736
Ray Carpenter, PE
RC Associates, 2517 Route 35, Building J, Suite 102, Manasquan, NJ 08736
Thomas Langella
348 Euclid Avenue, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Thomas J. Langella

*Applicant's Address: 348 Euclid Ave, Manasquan, NJ 08736

*Telephone Number: Home: 732-766-0970 Cell: _____

*e-mail Address: michael@hendersonlawfirmnj.com

*Property Location: 348 Euclid Ave

*Block: 115 Lot: 2.01

*Type of Application: Bulk Variance

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: September 15, 2021

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? No

*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? None to the applicants knowledge.
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? _____

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.


Signature of Applicant or Agent

10/6/21
Date

06/2021

Also Residential Title Insurance Policy - One-to-Four Family Residences (S-1-87)
If you want information about coverage or need assistance to resolve complaints, please call our toll free number: 1-800-723-1902. If you make a claim under your policy, you must furnish written notice in accordance with Section 3 of the Conditions and Specifications.
Visit our World-Wide Web site at: <http://www.stewart.com>

STEWART TITLE GUARANTY COMPANY

OWNER'S COVERAGE STATEMENT

This Policy insures your title to the land described in Schedule A-if the land is a one-to-four family residential lot or condominium unit. Your insurance, as described in this Coverage Statement, is effective on the Policy Date shown in Schedule A.

Your insurance is limited by the following:

- EXCLUSIONS on page 2
- EXCEPTIONS in Schedule B
- CONDITIONS on pages 2 and 5.

We insure you against actual loss resulting from:
• any title risk covered by this Policy-up to the policy Amount and
• attorneys' fees and expenses we have to pay under

This Policy covers the following title risks:

1. Someone else owns an interest in your title.
2. A document is not properly signed, dated, or acknowledged.
3. Forgery, fraud, duress, incompetency, incapacity, or impersonation.
4. Defective recording of any document.
5. You do not have any legal right of access to the land.
6. There are restrictive covenants limiting the use of the land.
7. There is a lien on your title because of:
 - a mortgage or deed of trust
 - a judgment, tax, or special assessment
 - a charge by a homeowner's or condominium association
8. There are liens on your title, arising out of a contract for labor or material furnished before the Policy Date-unless you agreed to pay for the labor and materials.
9. Others have rights arising out of leases, easements, or licenses.
10. Someone else has an easement on your title.
11. Your title is unmarketable, which allows you to sue to perform a contract to purchase, to lease or to make a mortgage loan.
12. You are forced to remove your existing structure, boundary wall or fence-because:
 - it extends on to adjoining land or on to a public street
 - it violates a restriction shown in Schedule B
 - it violates an existing zoning law.
13. You cannot use the land because use as shown on the plat violates a restriction shown in Schedule B or an existing zoning law.
14. Other defects, liens, or encumbrances.

COMPANY WILL DEFEND AGAINST COURT CASES

We will defend your title in any court case as to any Covered Title Risk that is based on a Covered Title Risk insured against by this Policy. We will pay the costs, attorneys' fees, and expenses incurred in that defense.

We can end this duty to defend your title by exercising any of the defenses listed in Item 4 of the Conditions.

This policy is not complete without Schedules A and B.

Signed under seal for the Company, but this Policy is to be valid only when it bears an authorized countersignature.

**STEWART TITLE
GUARANTY COMPANY**

Alvin S. Morris, Jr.
Chairman of the Board

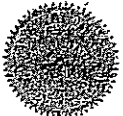
Alvin S. Morris
President

Countersigned: _____

Authorized Countersignature _____

Company _____

City, State _____



Page 3 of Policy
Serial No. 0-9917 483547

RESIDENTIAL TITLE INSURANCE POLICY

SCHEDULE A

File No.: TA-111846

Policy No: 0-9917-483547

Policy Date: July 08, 2009

Policy Amount: \$719,500.00

1. Name of Insured:

THOMAS J. LANGELLA, SINGLE

2. Your interest in the land covered by this Policy is: FEE SIMPLE

3. The land referred to in this Policy is in the County of Monmouth, State of New Jersey, and is described as follows:

Land and premises as set forth in Deed from Eric Borghoff and Christine Borghoff, h/w to the Insured herein, dated June 25, 2009, recorded July 08, 2009 in the Monmouth County Clerk's Office in Official Record 8784, Page 2142.

SEE DESCRIPTION SCHEDULE A ATTACHED

Issuing Agent:
TRIDENT ABSTRACT TITLE AGENCY, L.L.C.
8 Broad Street, Freehold, NJ 07728
(732)431-3134

**SCHEDULE A
LEGAL DESCRIPTION**

File No.: TA-111846

Policy No.: 0-9917-483547

ALL that certain tract, lot and parcel of land lying and being in the Borough of Manasquan, County of Monmouth and State of New Jersey, being more particularly described as follows:

BEING known and designated as part of Lot 2 Block 2 as shown on a certain map entitled, "Map No. 2, Plan of Lends of D.V. Perrine, Manasquan, New Jersey", said map being duly filed in the Monmouth County Clerk's Office on April 9, 1952 in Deed Book 2411 Page 469.

BEGINNING at a point in the Easterly line of Euclid Avenue, distant 55.85 feet Southerly, from the Southeasterly intersection of South McClellan Avenue and Euclid Avenue and running; thence

- 1. North 49 degrees 00 minutes 00 seconds East, 120.00 feet to a point; thence*
- 2. South 41 degrees 00 minutes 00 seconds East, 50.00 feet to a point; thence*
- 3. South 49 degrees 00 minutes 00 seconds West, 120.00 feet to a point; thence*
- 4. North 41 degrees 00 minutes 00 seconds West, along the Northeasterly line of Euclid avenue, 50.00 feet to the point and place of BEGINNING.*

THE above description is drawn in accordance with a survey prepared by Charles O'Malley, PLS, dated June 19, 2009.

For Information Only:

Also known as Lot(s) 2.01, Block 115 on the Tax Map of the Borough of Manasquan, in the County of Monmouth, also known as 348 Euclid Avenue.

**RESIDENTIAL TITLE INSURANCE POLICY
SCHEDULE B**

EXCEPTIONS

File No.: TA-111846

Policy No.: 0-9917-483547

In addition to the Exclusions, you are not insured against loss, costs, attorneys' fees and expenses resulting from:

1. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
2. The lien of all taxes for the year 2009 and thereafter.
Taxes paid through the 3rd quarter of 2009.
Possible additional taxes and assessments, assessed or levied under R.S. 54:4-63.1 et seq.
3. Calculation of the area and/or acreage is not insured to be accurate.
4. Subject to Encroachment Agreement and Maintenance Easement as set forth in Deed Book Official Record 8163 Page 251.
5. Subject to the rights of electric, telephone and cable television utilities servicing the premises in question.
6. Restrictive Covenants as set forth in the following Deed Book(s): 1157 page 5 and Deed Book 1349 Page 258.
7. Mortgage in the amount of \$519,500.00 made by Thomas J. Langella, single to Manasquan Savings Bank dated June 25, 2009, recorded July 08, 2009 in the Monmouth County Clerk's Office in Official Record 8784, Page 2146.

Countersigned: _____
Authorized Officer or Agent: Andrew P. Carton

5

...dated the first day of October in the year eighteen hundred and seventy three, and recorded
...the said Clerk's office in Vol 327 of deeds pages 166 and both of said leases by several
...assignments, assigned, transferred and set over to the said Ross M. Clayton by Edith E.
...Witgers and John V. Witgers her husband by assignment of lease dated October 5, 1918 and
...recorded in the said Clerk's office in Book 1009 of deeds, pages 206 etc.

This assignment and transfer is made and is accepted by the party of the first
...subject to the lien operation and effect of a certain mortgage made by the party of the
...part to Anna C. Campbell, given to secure the payment of the sum of three thousand
...dollars, which mortgage together with the interest from June 23, 1921 and to grow thereon the
...party of the second part by the acceptance of this assignment hereby assumes and agrees to pay
...as part of the consideration of the assignment.

IN WITNESS WHEREOF we have hereunto set our hands and seals this 27th day of
August, one thousand nine hundred and twenty one.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF
Edwin R. Longstreet
Ross M. Clayton (S.S.)
Ellen P. Clayton (S.S.)
STATE OF NEW JERSEY)
COUNTY OF MONMOUTH)

WITNESSETH, That on the 27th day of
August in the year of Our Lord one thousand nine hundred and twenty one before me a MASTER
...CHIEF CLERK OF THE STATE OF NEW JERSEY personally appeared ROSS M. CLAYTON and ELLEN P. CLAYTON
...his wife who are I am satisfied, the grantors mentioned in the foregoing deed of Assignment and
...the contents thereof, being by me first made known unto them, they did thereupon acknowledge that
...they signed, sealed and delivered the same by their voluntary act and deed, for the uses and
...express therein expressed;

Edwin R. Longstreet
S.S. OF N.J.
Received and Recorded Sept. 7th A.D. 1921 at 8 A.M.
Joseph McDermott, Clerk

EDWIN C. PARENT & AMELIA HIS WIFE)
TO)
EDNA A. LOUGHBREY)
THIS INSTRUMENT, Made the third day of September
in the year of Our Lord one thousand nine
hundred and twenty one

BETWEEN EDWIN C. PARENT AND AMELIA PARENT his wife, of the Borough of
Manasquan in the County of Monmouth and State of New Jersey, party of the first part,
AND JOHN V. WITGERS of the Borough of Manasquan, in the County of
Monmouth and State of New Jersey, party of the second part;

WITNESSETH, That the said party of the first part, for and in consideration
...OF ONE DOLLAR AND OTHER VALUABLE CONSIDERATIONS, lawful money of the United States of America
...then in hand well and truly paid by the said party of the second part, at or before the
...making and delivery of these presents, the receipt whereof is hereby acknowledged and the
...said party of the first part being therewith fully satisfied contented and paid, have given
...and, bargained, sold, aliened, released, conveyed and confirmed and by these presents
...give, grant, bargain, sell, alien, release, convey and confirm unto the said party of
...second part, and to his heirs and assigns, forever: All these certain lots tract or parcel
...land and premises, hereinafter particularly described, situate, lying and being in the
...Borough of Manasquan in the County of Monmouth and State of New Jersey, being lots numbers

Restrictions

DB 1157-5

6

nineteen and two (19 and 2) Block number two (2) on a map entitled "Map No. 2 Plan of Lumb of D.V. Perrine Manasquan, New Jersey, surveyed June 1886, W.K. Potter Surveyor, Manasquan." beginning at a point in the southerly line of East Main Street said point being distant fifty five feet and eighty five hundredths of a foot easterly from a point in the southerly line of East Main Street, where the easterly line of McClellan Avenue, intersects the same, and a corner of lot number twenty (1) bound along the easterly line of lots numbers twenty and one, in a southerly direction two hundred and ninety one and twelve hundredths feet to a point in the northerly line of Euclid Avenue, a corner to lot number one thence (2) bound along the northerly line of Euclid Avenue in an easterly direction fifty feet to the corner of lot number three thence (3) bound along the westerly line of lots numbers three and eighteen in a northerly direction one hundred and ninety one and twelve hundredths feet to a point in the southerly line of East Main Street, a corner to lot number eighteen thence (4) bound along the southerly line of East Main Street in a westerly direction fifty feet to the beginning. Being the same premises described in a deed from Asher Curtis (single) to the said Zephyr C. Parent and Amelia Parent, bearing date February 25th, 1900 and recorded in the Monmouth County Clerk's office in Book 1104 of deeds for said County on Page 614 B. The party of the second part, his heirs and assigns covenants to and with the party of the first part, their heirs, that he, the said party of the second part, will not erect upon the above described lots a any building within thirty feet of the inside sidewalk line of East Main Street or within twenty feet of the inside sidewalk line of Euclid Avenue. That said premises shall never be used for the sale of any intoxicating liquors or for any manufacturing purposes whatsoever; that no pig pen, public laundry, livery stable, meat market or fish market shall ever be erected or maintained thereon. These covenants shall run with the land.

TOGETHER with all and singular the houses, buildings, trees, ways, waters, profits, privileges and advantages, with the appurtenances to the same belonging or in anywise appertaining;

ALSO, all the estate, right, title, interest, property, claim and demand whatsoever, of the said party of the first part, of, in and to the same, and of, in and to every part and parcel thereof;

TO HAVE AND TO HOLD, all and singular the above described land and premises with the appurtenances, unto the said party of the second part, his heirs and assigns, to the only proper use, benefit and behoof of the said party of the second part, his heirs and assigns forever;

AND the said Zephyr C. Parent and Amelia Parent do for themselves, their heirs, executors and administrators covenant and agree to and with the said party of the second part, his heirs and assigns, that the said Zephyr C. Parent and Amelia Parent are the true, lawful and right owners of all and singular the above described land and premises, and of every part and parcel thereof, with the appurtenances thereto belonging; and that the said land and premises, or any part thereof, at the time of the sealing and delivery of these presents, are not encumbered by any mortgage, judgment or limitation or by any encumbrance whatsoever, by which the title of the said party of the second part, hereby made or intended to be made, for the above described land and premises, can or may be changed, charged, altered or defeated in any way whatsoever;

AND ALSO, that the said party of the first part now have good right, full power and lawful authority to grant, bargain, sell and convey the said land and premises in manner aforesaid;

AND ALSO, that Zephyr C. Parent and Amelia Parent will warrant, secure and forever defend the said land and premises, unto the said John A. Longstreet his heirs and assigns forever.

against
 freed.
 and he
 signed
 the
 Edwin
 (21.00
 STATE
 COUNTY
 Septem
 Subscr:
 Parent
 whom I
 sealed
 express
 from he
 returns
 Receive
 Copied.
 ELIZABETH
 GEORGE
 of Beth
 in the C
 of one d
 to them
 sealing
 said par
 granted,
 do give,
 the seco
 parcels.
 in the B
 Street a
 along the
 (2) south
 thence (3

400

AND the said party of the first part for themselves, their heirs the above described and hereby granted and released premises and every part and parcel thereof, with the appurtenances unto the said party of the second part, her heirs and assigns, against the said party of the first part, and their heirs and against all and every person or persons whomsoever, lawfully claiming or to claim the same SHALL AND WILL WARRANT and by these presents FOREVER DEFEND.

IN WITNESS WHEREOF the said party of the first part, have hereunto set their hands and seals the day and year first above written.

SIGNED, SEALED AND DELIVERED) Fred S. Nutt (L.S.)
IN THE PRESENCE OF) Rebecca O. Nutt (L.S.)

Benj. B. Pearce

STATE OF NEW JERSEY
COUNTY OF MONMOUTH

BE IT REMEMBERED, That on this eighth day of May in the year of our Lord One thousand nine hundred and twenty six

before me the subscriber, a Master in Chancery of New Jersey personally appeared Fred S. Nutt and Rebecca O. Nutt his wife who I am satisfied are the grantors mentioned in the within indenture to whom I first made known the contents thereof, and thereupon they acknowledged that they signed, sealed and delivered the same as their voluntary act and deed, for the uses and purposes therein expressed.

Benj. B. Pearce

H. C. C. of N.J.

Received and recorded May 10th A.D. 1926 at S A. N.

Joseph McDermott Clerk

Comp'd

Restrictions

DOB 1349-258

LOUIE W. LONGSTREET) THIS INDENTURE, Made this thirteenth day of April in the year
EX'RX.) of our Lord one thousand nine hundred and twenty six

TO) BETWEEN Louis W. Longstreet, widow of the Borough of Manasquan
HUMBERT GIUMETTI ET) in the County of Monmouth and State of New Jersey and Louis W.
VICTORIA HIS UX) Longstreet, executrix of the last Will and Testament of John A.
Longstreet, dec'd, party of the first part,

AND Humbert Giumetti and Victoria Giumetti his wife of the Borough of Manasquan in the County of Monmouth and State of New Jersey, party of the second part;

WITNESSETH, That the said party of the first part, in consideration of the sum of One dollar and other valuable consideration lawful money of the United States of America to her the said party of the first part in hand well and truly paid by the said party of the second part, before the sealing and delivery of these presents, the receipt whereof the said party of the first part, does hereby acknowledge has granted, bargained, and sold, aliened, released, conveyed and confirmed and by these presents, does grant, bargain, and sell, alien, release, convey and

259

confirm unto said party of the second part, their heirs and assigns, ALL those certain lots, tracts or parcels of land and premises hereinafter particularly described, situate, lying and being in the Borough of Manasquan in the County of Monmouth and State of New Jersey, being lots numbers nineteen and two (19 and 2) Block number two (2) on a map entitled "Map No. 2 plan of Lands of D.V. Perrine Manasquan New Jersey, surveyed June 1916, W. K. Potter, Surveyor, Manasquan"

BEGINNING at a point in the southerly line of East Main Street said point being distant fifty five feet and eighty five hundredths of a foot easterly from a point in the southerly line of East Main Street where the easterly line of McClellan Avenue intersects the same, and a corner of lot number twenty; (1) bound along the easterly line of lots numbers twenty and one in a southerly direction two hundred and ninety one and twelve hundredths feet to a point in the northerly line of Euclid Avenue a corner to lot number one; thence (2) bound along the northerly line of Euclid Avenue in an easterly direction fifty feet to the corner of lot number three; thence (3) bound along the westerly line of lots numbers three and eighteen in a northerly direction two hundred and ninety one and twelve hundredths feet to a point in the southerly line of East Main Street a corner to lot number eighteen; thence (4) bound along the southerly line of East Main Street in a westerly direction fifty feet to the beginning.

BEING the same premises described in a deed made by Zephyr C. Parent and Amelia Parent his wife to John A. Longstreet bearing date September 3, 1921 and recorded in book 1157 of Deeds, page 5 do.

The parties of the second part, their heirs and assigns, covenant to and with the party of the first part, her heirs and assigns, that they, the said parties of the second part, will not erect upon the above described lots any building within thirty feet of the inside sidewalk line of East Main Street or within twenty feet of the ⁱⁿside sidewalk line of Euclid Avenue.

That said premises shall never be used for the sale of any intoxicating liquors or for any manufacturing purposes whatsoever. That no pig pen public laundry, livery stable, meat market or fish market shall ever be erected or maintained thereon. These covenants shall run with the land.

TOGETHER with all and singular the buildings, improvements, ways, woods, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in anywise appertaining; and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and of every part and parcel thereof; And also all the estate, right, title, interest, use, possession, property, claim and demand whatsoever, both in law and equity of her the said party of the first part, in and to the said party of the first part, in and to the said premises with the appurtenances: TO HAVE AND TO HOLD said lots, tracts or parcels of land, hereditaments and premises hereby granted and every part and parcel thereof, with the appurtenances unto the said party of the second part, their heirs, and assigns, to the own proper use, benefit and behoof of them the said party of the second part, their heirs and assigns, forever,

AND the said Louis W. Longstreet party aforesaid of the first part, for herself, her heirs, executors and administrators does hereby covenant, pro-

OCT. 4 2002

3

ENCROACHMENT AGREEMENT AND MAINTENANCE EASEMENT

NOV 17 2002



01170241

This agreement is made on this 1st day of October, 2002, by and between
ERIC BORGHOFF and CHRISTINE BORGHOFF, husband and wife,
hereinafter referred to as the FIRST PARTY; and

EUGENE L. BORGHOFF and JOAN A. BORGHOFF, husband and wife,
hereinafter referred to as the SECOND PARTY.

WHEREAS, the FIRST PARTY owns certain land known as Block 115, Lot 2.01 on the Borough of Manasquan Tax Map, more commonly known as 348 Euclid Avenue, Manasquan, New Jersey; which property is delineated on a survey made by Rowland W. Erb, L.P.E. and L.S. dated December 24, 1991 attached hereto and made a part hereof; and

WHEREAS, the SECOND PARTY owns property located at 344 Euclid Avenue, Manasquan, New Jersey, known as Block 115, Lot 1.01 on the Borough of Manasquan Tax Map; and

WHEREAS, the true boundary line between said properties is shown on the survey attached hereto; and

WHEREAS, there has been erected by the SECOND PARTY by mistake a fence and patio onto the property owned by the FIRST PARTY.

NOW, THEREFORE, in consideration of \$1.00 each to the other in hand paid, it is mutually understood and agreed as follows:

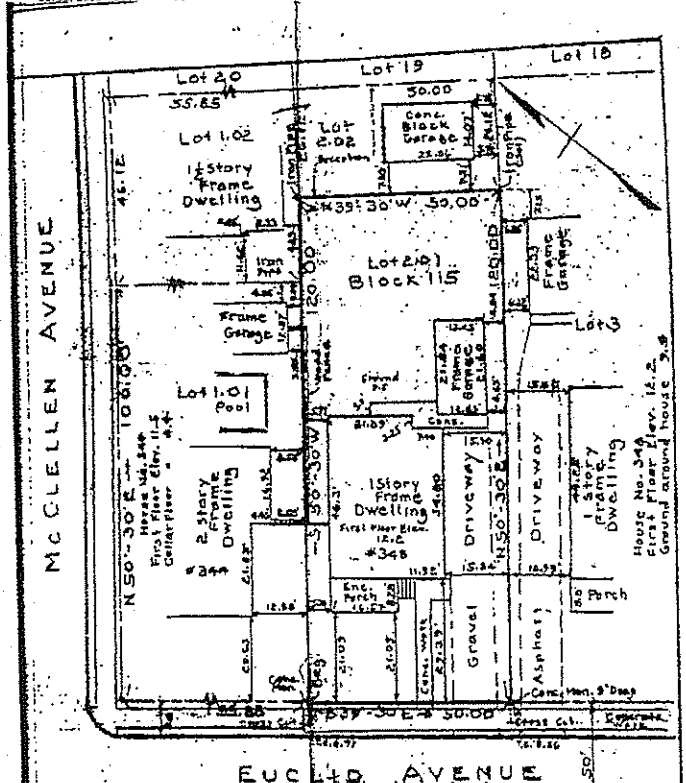
(1) That the SECOND PARTY admits that the true boundary line between the said lands is shown on the survey attached, and that the said encroachment stands upon the land owned by the FIRST PARTY, but that, by reason of said encroachment, the SECOND PARTY does not claim, nor shall claim, any right, title or interest in and to the land owned by the FIRST PARTY, except as specifically set forth herein.

(2) That the parties to this agreement agree that the encroachments may stand as presently located and the FIRST PARTY specifically grants an easement to the SECOND PARTY to permit them to maintain and keep that portion of the fence and patio which is now located on the property owned by the FIRST PARTY. The specific area of the easement is shown on the survey attached hereto and made a part hereof.

PREPARED BY: *Deborah Strawder*

*DA 8163-251
R 11-13-2002*

MS 1123314
MID-STATE ABSTRACT COMPANY
207 HOOPER AVENUE
P.O. BOX 413
TOMS RIVER, NJ 08754
(732) 244-3000



Premises surveyed is all but the northerly 25.00 feet of lot 2 in block 2 on a map entitled "Map No. 2 Plan of Lands of E.V. Perrine, Manasquan, New Jersey, Surveyed June 1916" W.K. Feller, Surveyor of Manasquan, N.J. The northerly 25.00 feet having been conveyed by Anna V. Shannon, widow, and Walter S. Driscoll, single to John B. Links by deed dated June 21, 1952 in Book of Deeds 2360 Page 573. Premises surveyed is also known as Lot A-2 in Block 115 on the tax map of the Borough of Manasquan. I hereby certify to Eugene L. Borghoff and Joan A. Borghoff, his wife; Title Insurance Company of Minnesota, and Richard J. Fay, Esq. that this survey is correct and there are no encroachments across property lines.

Rowland W. Erb

PLAN OF PROPERTY
 LOCATED IN
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, N.J.
 SCALE 1"=20'
 SURVEYED DEC. 21, 1991 BY
Rowland W. Erb
 LICENSED PROFESSIONAL ENGINEER AND LAND SURVEYOR
 LICENSE NO. 6063 AVON, BY-THE-SEA, N.J.

All of the covenants and agreements herein set forth shall be binding upon all parties to this agreement, their heirs, executors, administrators, successors and assigns.

Sworn and subscribed to
before me on October 1, 2002

Deborah L. Strawder
Deborah L. Strawder
Notary Public of New Jersey
Commission Expires 6-23-03

Eugene L. Borghoff
Eugene L. Borghoff

Jean A. Borghoff
Jean A. Borghoff

Eric Borghoff
Eric Borghoff

Christine Borghoff
Christine Borghoff

Mid-State Abst.
R/R R/R #596

ATTORNEY ASSISTANCE
287 LESWING DRIVE
BRICK, NEW JERSEY 08723

M. CLAIRE FRENCH
COUNTY CLERK
MONMOUTH COUNTY
NEW JERSEY
INSTRUMENT NUMBER
2002223922
RECORDED ON
NOV 13, 2002
8:58:26 AM
BOOK = DR-8193
PAGE = 251
Total Pages: 3
COUNTY RECORDING \$33.00
FEES
DEDICATED TRUST FUND \$2.00
COMMISSION
TOTAL \$35.00

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

September 15, 2021

Michael Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 115 Lot: 2.01 Zone: R-1
Langella – 348 Euclid Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove the existing detached garage, shed, asphalt driveway and construct a two story rear addition, detached garage in the rear yard and other interior alterations and renovations and install a paver driveway.

Survey prepared by Charles O'Malley on June 19, 2009. Plot plan prepared by Ray Carpenter on April 28, 2021. Building height certification prepared by Charles O'Malley on September 9, 2021. Conceptual building plans prepared by Christopher Rice on May 3, 2021.

Application denied for the following reason(s):

Section 35-9.4 – Lot Area – 7,000s.f. Required
6,000s.f. Existing

“ - Front Setback – 25ft. Required
21.3ft. Existing

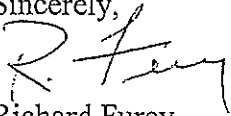
“ - Building Coverage – 25% Permitted
27.57% Existing
31.3% Proposed

Additional required documentation.

- Plot plan revised to show location of any mechanical equipment.
- Plot plan revised to show the removal of any trees on the property.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

September 15, 2021

Michael Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 115 Lot: 2.01 Zone: R-1
Langella – 348 Euclid Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove the existing detached garage, shed, asphalt driveway and construct a two story rear addition, detached garage in the rear yard and other interior alterations and renovations and install a paver driveway.

Survey prepared by Charles O'Malley on June 19, 2009. Plot plan prepared by Ray Carpenter on April 28, 2021. Building height certification prepared by Charles O'Malley on September 9, 2021. Conceptual building plans prepared by Christopher Rice on May 3, 2021.

Application denied for the following reason(s):

Section 35-9.4 – Lot Area – 7,000s.f. Required
6,000s.f. Existing

“ - Front Setback – 25ft. Required
21.3ft. Existing

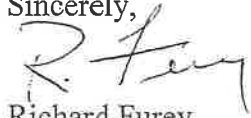
“ - Building Coverage – 25% Permitted
27.57% Existing
31.3% Proposed

Additional required documentation.

- Plot plan revised to show location of any mechanical equipment.
- Plot plan revised to show the removal of any trees on the property.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

LANGELLA RESIDENCE



NOTE: ARTISTIC RENDERINGS, NOT TO BE USED FOR CONSTRUCTION. REFER TO PLANS & ELEVATIONS FOR CONSTRUCTION INFORMATION

DESIGN LOADS

BEDROOMS	30 PSF (LL.) + 10 PSF (DL.) = 40 PSF (TL.)
FLOOR	40 PSF (LL.) + 10 PSF (DL.) = 50 PSF (TL.)
ATTIC (GREATER THAN 3'-6" HT.)	20 PSF (LL.) + 10 PSF (DL.) = 30 PSF (TL.)
ATTIC (LESS THAN 3'-6" HT.)	10 PSF (DL.) = 10 PSF (TL.)
ROOF	20 PSF (LL.) + 15 PSF (DL.) = 35 PSF (TL.)
BALCONIES	60 PSF (LL.) + 10 PSF (DL.) = 70 PSF (TL.)
DECKS	40 PSF (LL.) + 10 PSF (DL.) = 50 PSF (TL.)
STAIRS	100 PSF (LL.) + 10 PSF (DL.) = 110 PSF (TL.)
HANDRAILS	200 LBS (APPLIED IN ANY DIRECTION)

BUILDING/SITE CHARACTERISTICS

NUMBER OF STORIES	1.5 STORY
HEIGHT OF STRUCTURE	27'-11"
AREA - LARGEST FLOOR	1258 SF.
NEW BUILDING AREA	2527 SF.
CONSTRUCTION CLASSIFICATION	5B
USE GROUP	R-5
FLOOD HAZARD ZONE	X
BASE FLOOD ELEVATION (B.F.E.)	N/A
WETLANDS	NO
MAX LIVE LOAD	40 PSF
STRUCTURAL DESIGN CRITERIA	ASCE-7
WIND DESIGN SPEED	122 MPH

APPLICABLE CODES AND STANDARDS

INTERNATIONAL BUILDING CODE/2018, NJ ED
 INTERNATIONAL RESIDENTIAL CODE/2018, NJ ED
 INTERNATIONAL ENERGY CONSERVATION CODE/2018 (LOW-RISE RESIDENTIAL)
 NATIONAL STANDARD PLUMBING CODE/2018, NJ ED (NSPC W/ NJ EDITS FROM 3.15)
 NATIONAL ELECTRICAL CODE (NFPA 70)/2017
 INTERNATIONAL MECHANICAL CODE/2018
 REHABILITATION SUBCODE (NJAC 5:23-6) NUCC, Subchapter 6



544 Washington Boulevard
 Sea Girt, New Jersey 08750

732.449.9055
 www.shorearchitect.com

CHRISTOPHER RICE

NJ. LIC. NO. 14432
 NY. LIC. NO. 026745

DUSTIN C. BROWN

CO. LIC. NO. 402474

ADDITION & RENOVATION
 LANGELLA RESIDENCE
 348 EUCLID AVE. MANASQUAN, NJ
 LOT: BLOCK:

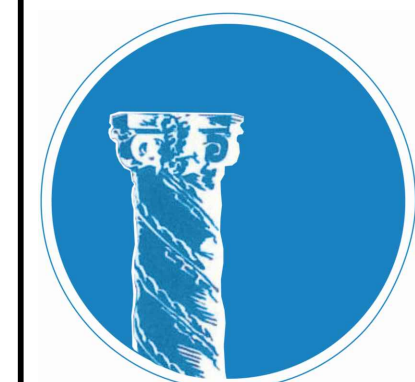
Rice and Brown Architects, professional corporation expressly reserves its common law copyright and other proprietary rights in these plans. These documents are not to be reproduced, changed or copied in any form or manner whatsoever nor are they to be assigned to a third party without first obtaining the expressed written permission of Rice and Brown Architects, PC.

REVISIONS:

COMM. 2008

DRAWN BY: DCB

DATE: 5/3/21



CS

**ADDITION & RENOVATION
LANGELLA RESIDENCE
348 EUCLID AVE. MANASQUAN, NJ
LOT:**

Rice and Brown architects, professional corporation expressly reserves its common law copyright and other property rights in these plans. These documents are not to be reproduced, changed or copied in any form or manner whatsoever nor are they to be assigned to a third party without first obtaining the expressed written permission of Rice and Brown architects, PC.

REVISIONS:

COMM. 2008

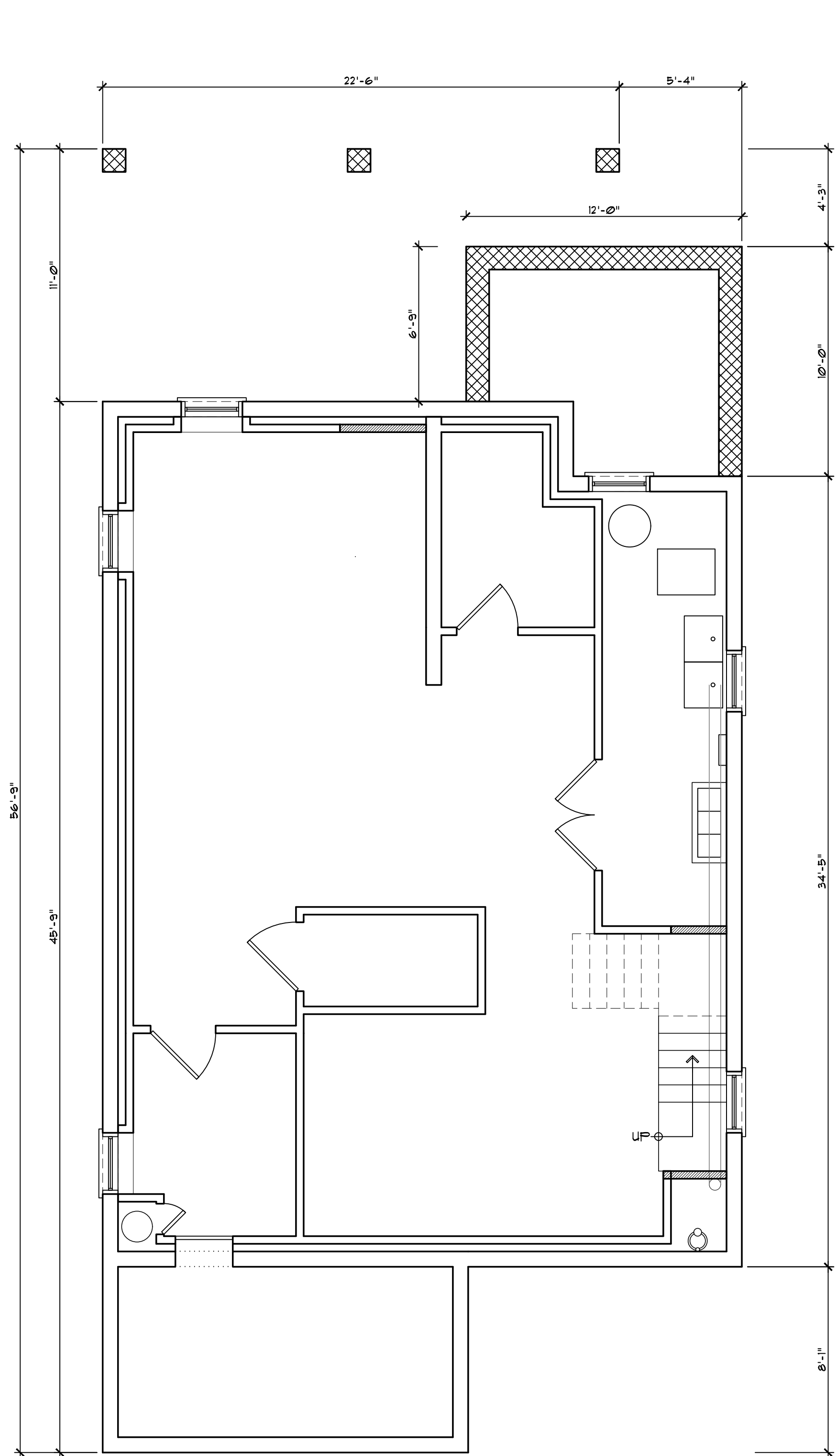
DRAWN BY: DCB

DATE: 5/3/21

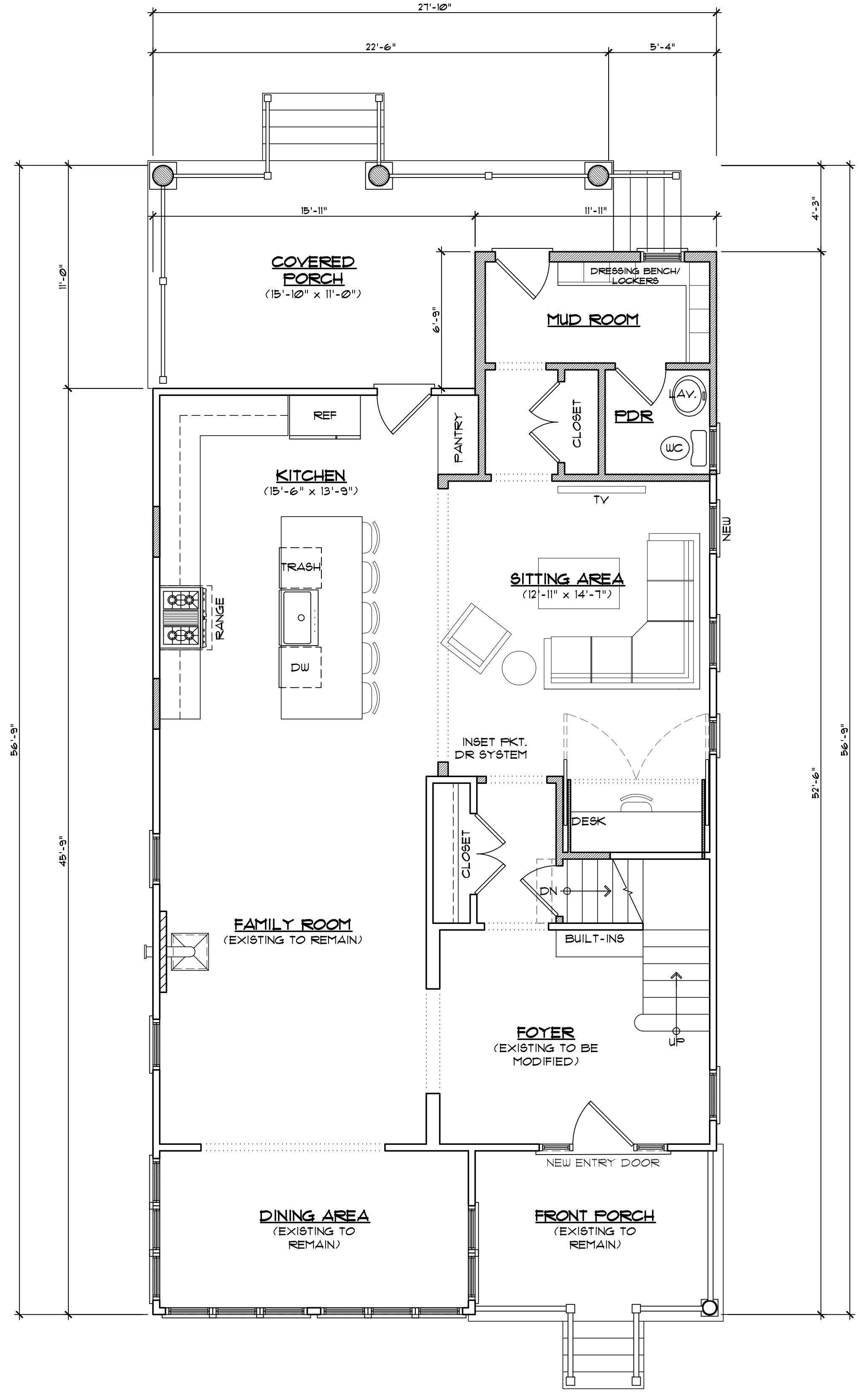


A = 1

SHT. 2 OF 3

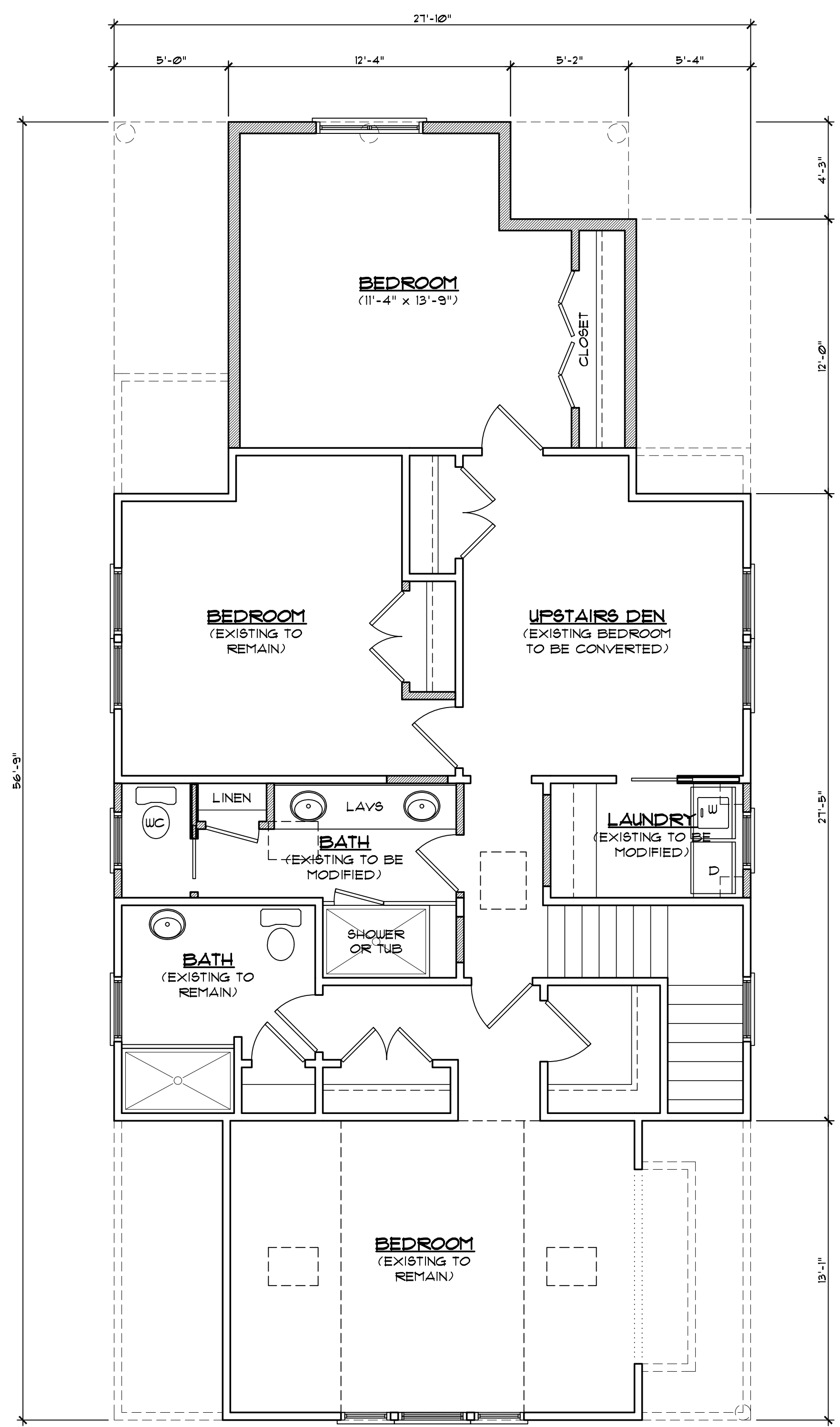


BASEMENT PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING GROSS HABITABLE AREA = 1,153 SF
PROPOSED GROSS HABITABLE AREA = 1,258 SF
PROPOSED FOOTPRINT AREA = 1,558 SF



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING GROSS HABITABLE AREA = 1,036 SF
PROPOSED GROSS HABITABLE AREA = 1,269 SF

**ADDITION & RENOVATION
LANGELLA RESIDENCE**
348 EUCLID AVE. MANASQUAN, NJ
LOT: BLOCK:

Rice and Brown Architects professional corporation expressly reserves its common law copyright and other proprietary rights in these plans. These documents are not to be reproduced, changed or copied in any form or manner whatsoever and are hereby assigned to a third party without first obtaining the expressed written permission of Rice and Brown Architects, PC.

REVISIONS:

COMM. 2008

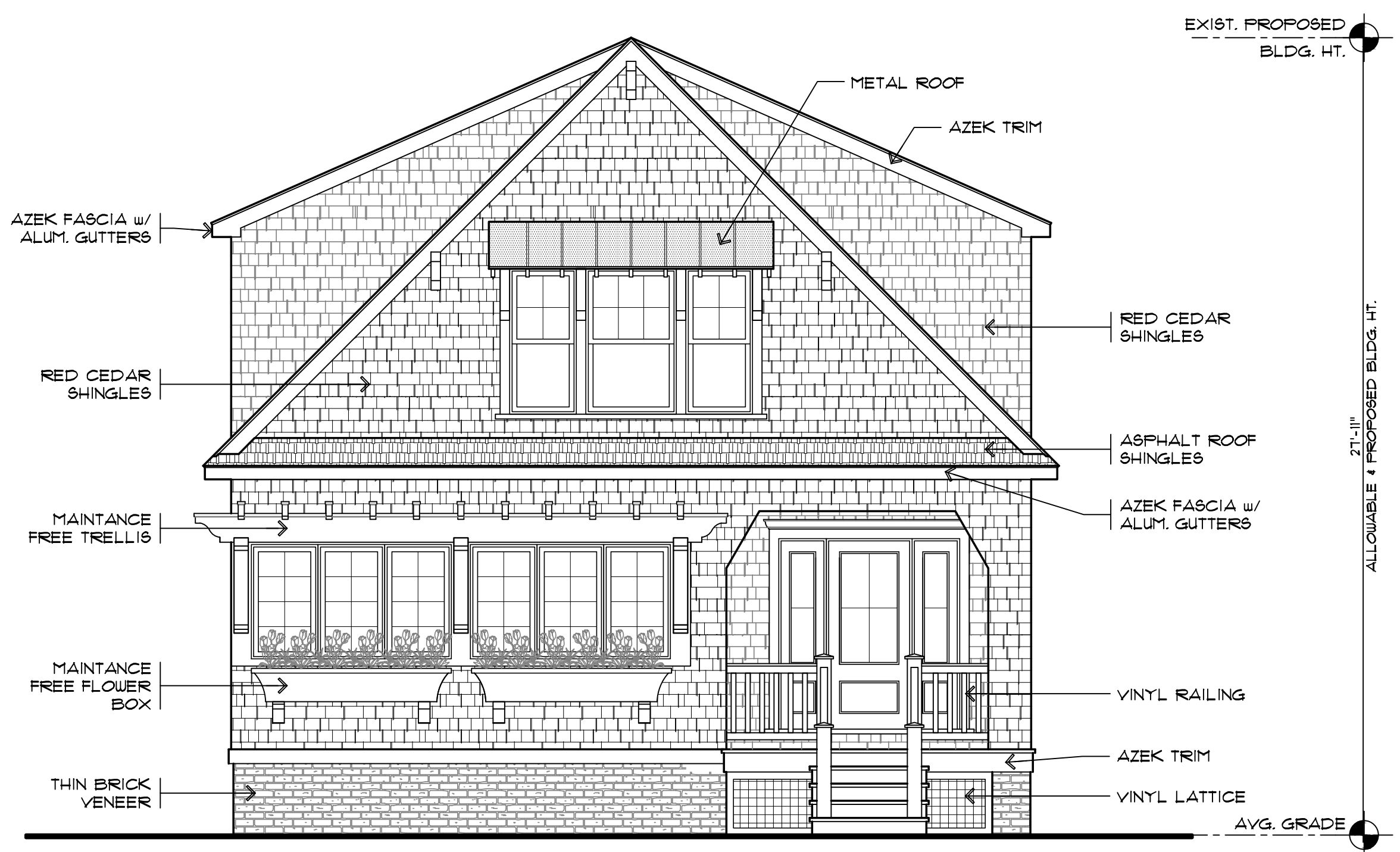
DRAWN BY: DCB

DATE: 5/3/21

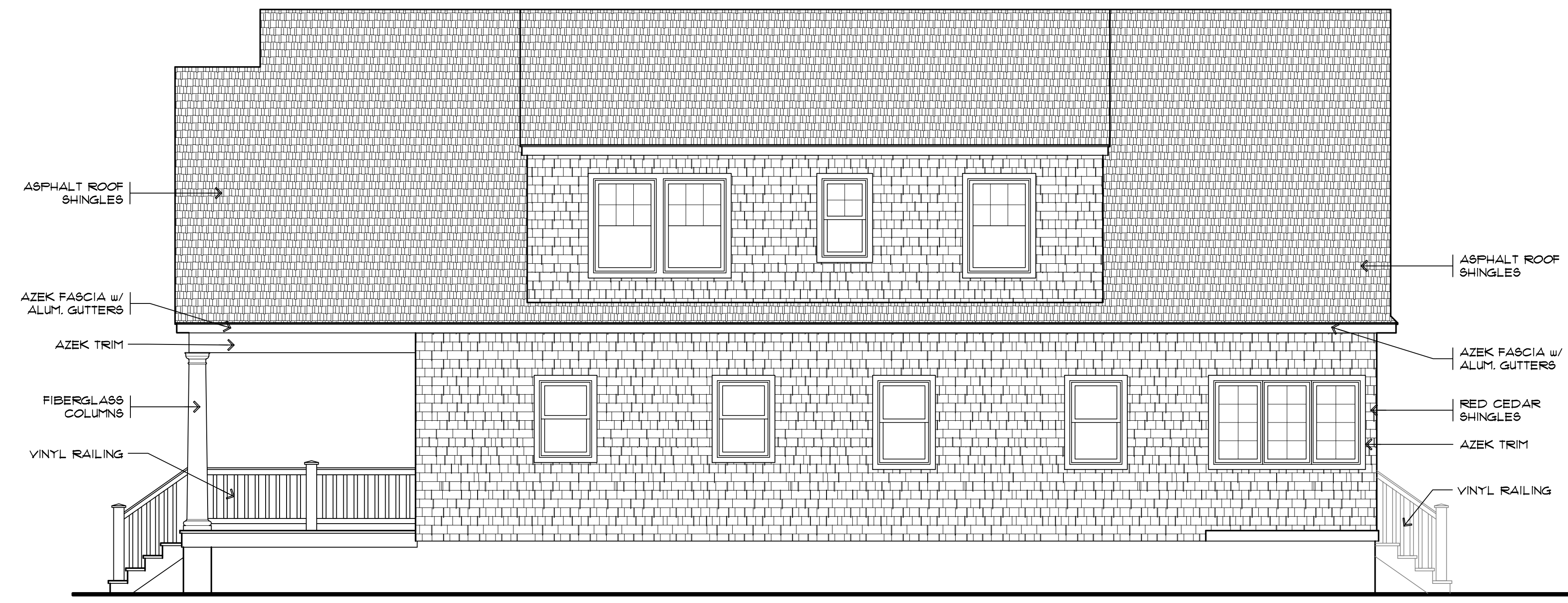


A = 2

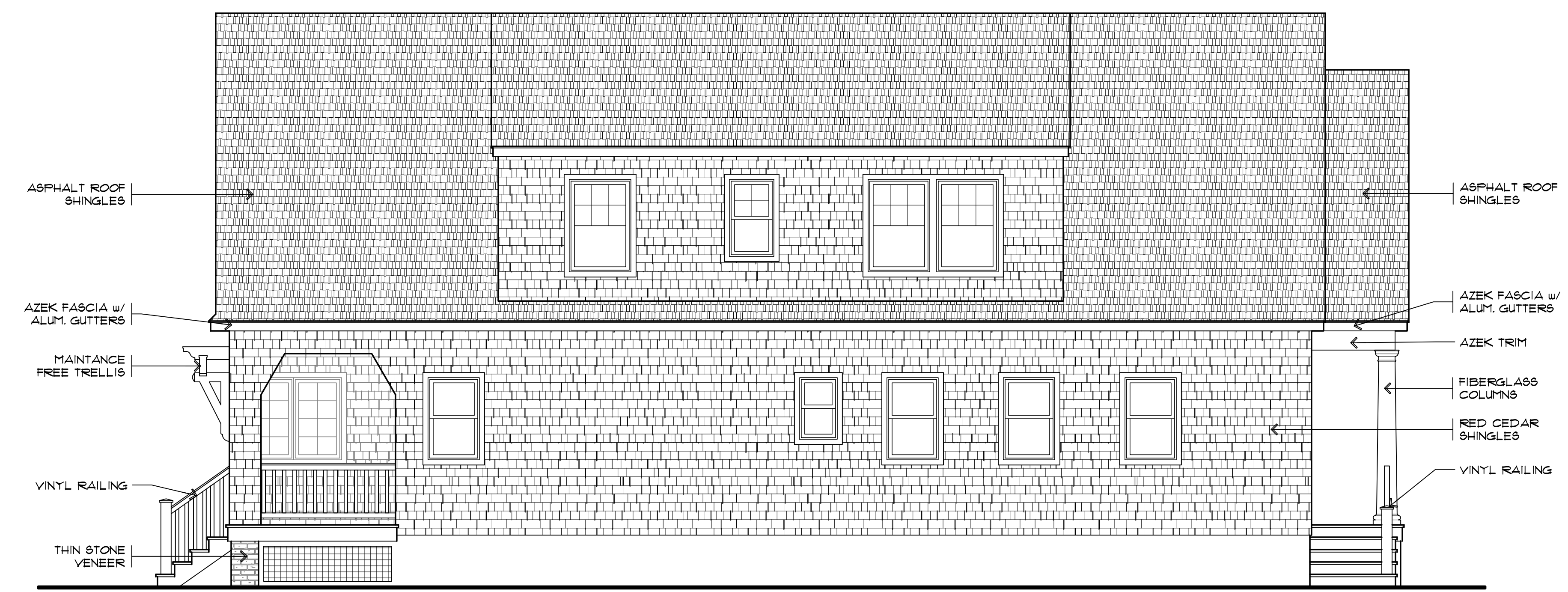
SHT. 3 OF 3



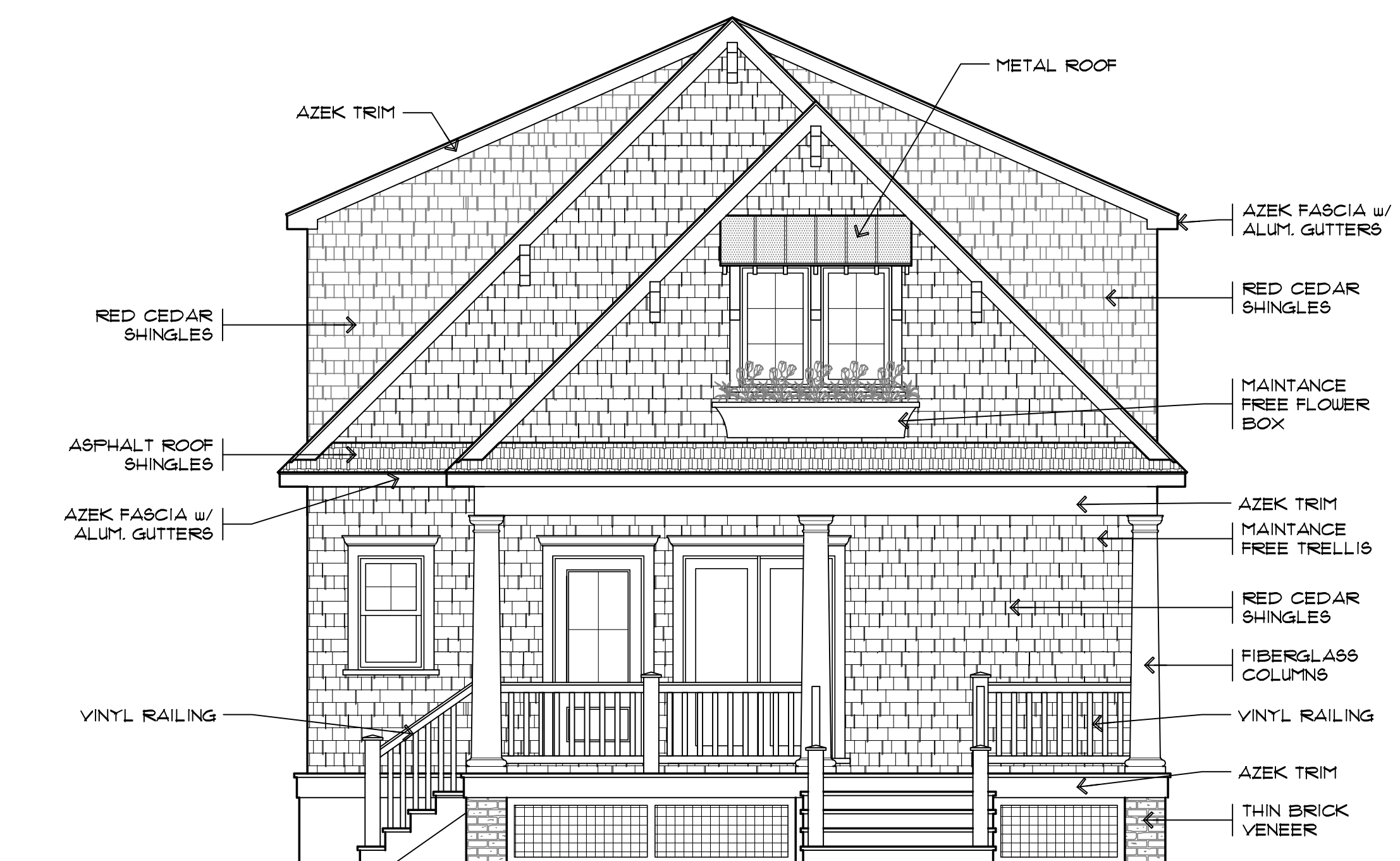
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



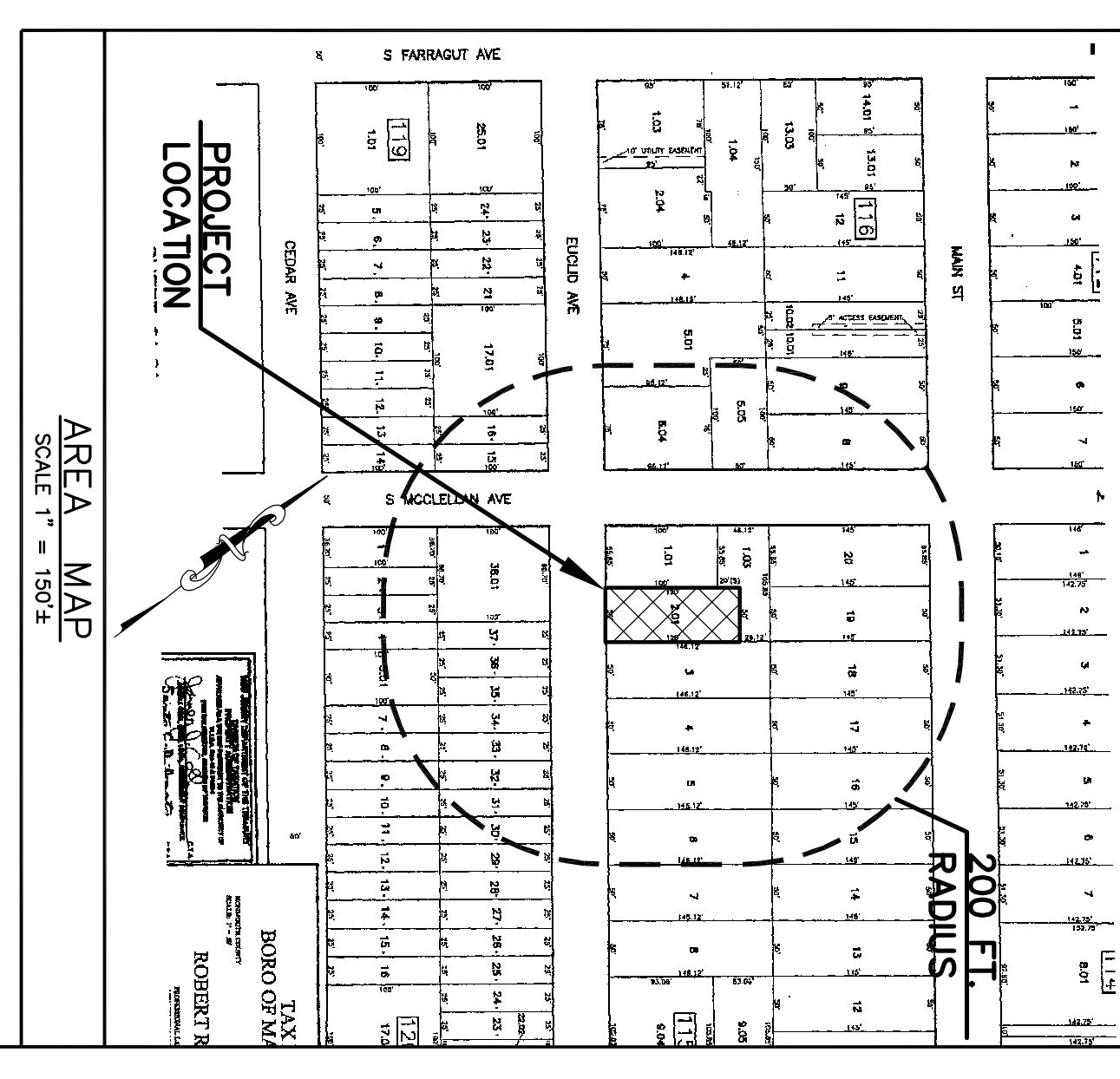
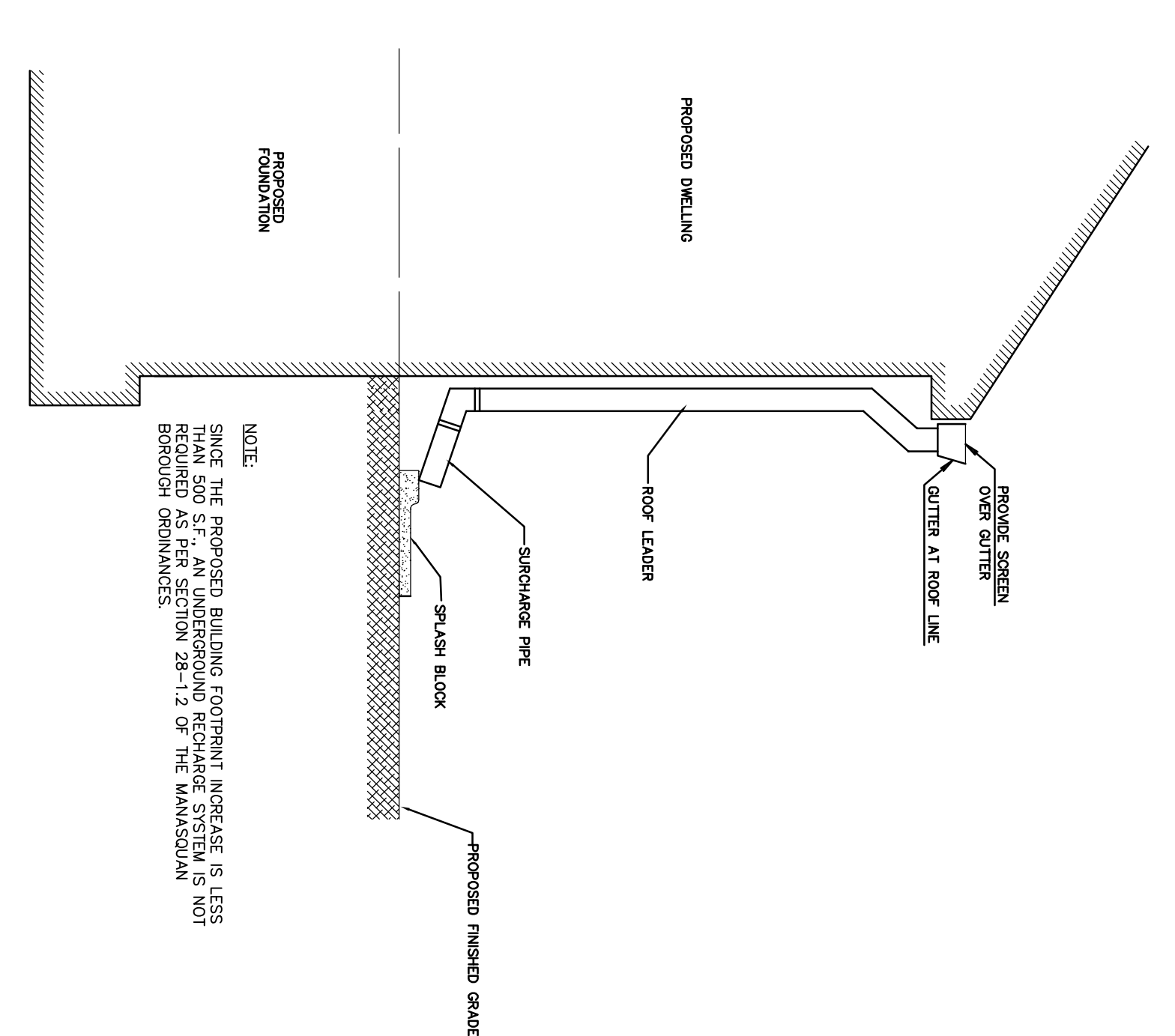
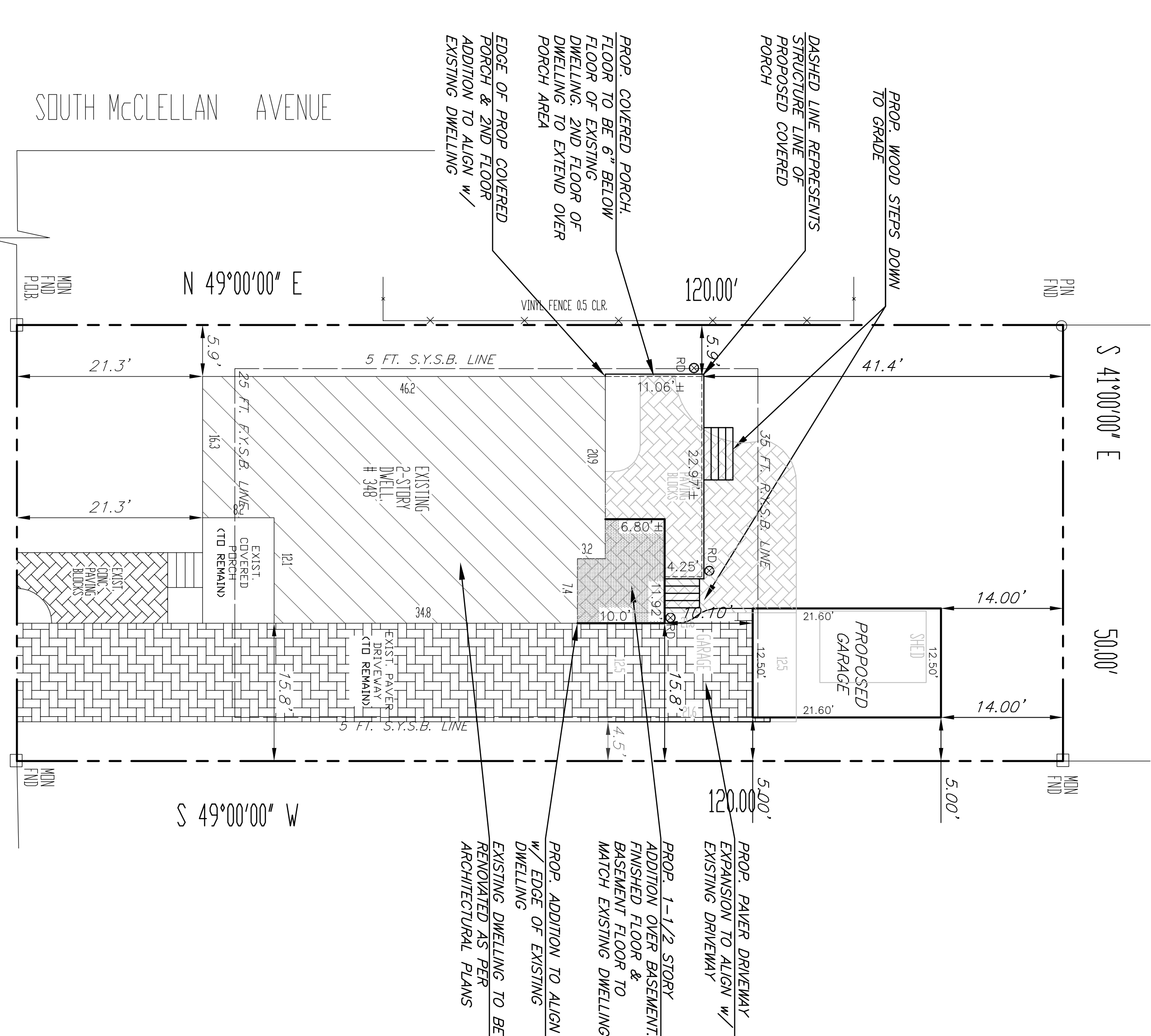
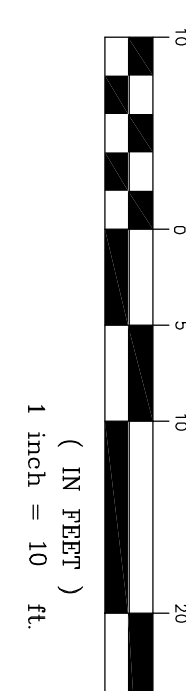
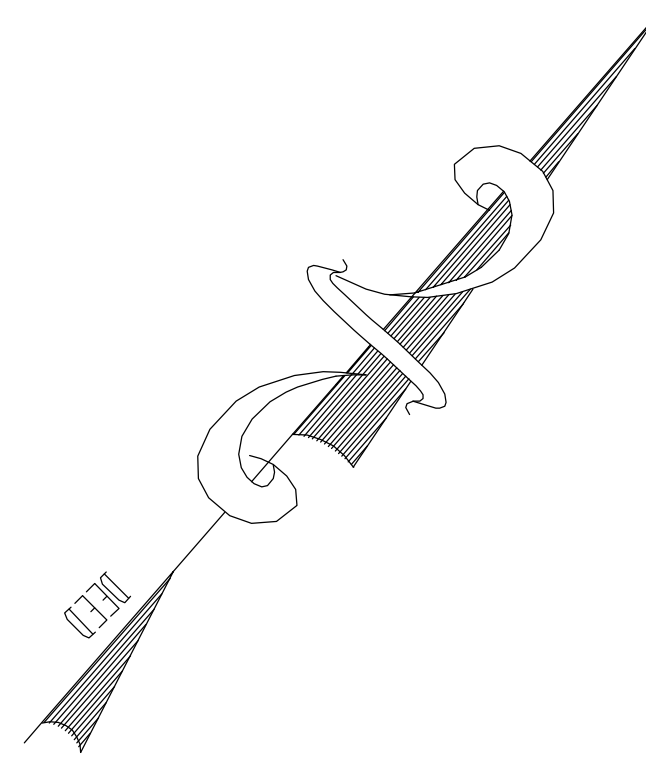
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



**DETAIL:
ROOF LEADER TO SPLASH BLOCK**
N.T.S.

GENERAL NOTES

PROPERTY IS KNOWN AS BLOCK 115, LOT 2.01, AS SHOWN ON SHEET 20 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.
PROPERTY IS LOCATED IN THE RESIDENTIAL R-1 ZONE AND CONTAINS A TOTAL OF 0.13776 ACRES.
OWNER/APPLICANT: THOMAS LANGELLA
348 EUCRID AVENUE
MANASQUAN, NEW JERSEY 08736
APPLICANT PROPOSES TO CONSTRUCT A NEW 1-1/2 STORY REAR YARD ADDITION, CONSTRUCT A DETACHED GARAGE & ASSOCIATED SITE IMPROVEMENTS.
ZONE R-1

DESCRIPTION	REQUIRED/REBUILT	EXISTING	PROPOSED
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	7,000 S.F.	*6,000 S.F.	*6,000 S.F.
MIN. LOT FRONTAGE	50 FT.	50 FT.	50 FT.
FRONT YARD SETBACK	25 FT.	*21.3 FT.	*21.3 FT.
SIDE YARD SETBACK	5 FT.	5.9 & 15.8 FT.	5.9 & 15.8 FT.
REAR YARD SETBACK	35 FT.	*27.57' (1,654 S.F.) *31.13' (1,868 S.F.)	41.4 FT.
MAX. BUILDING COVERAGE	35% (2,100 S.F.)	27.57' (1,654 S.F.) 31.13' (1,868 S.F.)	27.57' (1,654 S.F.) 31.13' (1,868 S.F.)
MAX. BLDG HEIGHT	35 FT (25 STY)	EXISTING (2 STY)	EXISTING (2 STY)
MIN. STORAGE	80 S.F.	80 S.F.	80 S.F.
MIN. DECK/PATIO	80 S.F. or 10% 1st. FLOOR (129 S.F.)	80 S.F.	308 S.F.
MAX. GARAGE COVERAGE	600 S.F.	270 S.F.	270 S.F.
MIN. GAR. SETBACK	5/5 FT. (SIDE/REAR)	4.5/20.6 FT.	5/14 FT.
MAX. GAR. HEIGHT	15 FT.	<15 FT.	15 FT.
MIN. ACCESS, SETBACK(100 SF. MAX)	3/3 FT. (SIDE/REAR)	4.5/15.7 FT.	N/A
MIN. POOL, SETBACK	10/10 FT. (SIDE/REAR)	19.9 FT.	17.6 FT.
MIN. STAIRS SIDE SETBACK	5 FT.	5.9 FT.	5.9 FT.
MIN. PATIO SIDE SETBACK	5 FT.	5.9 FT.	5.9 FT.

* - INDICATES EXISTING NON-COMFORMITY
** - INDICATES VARIANCE REQUIRED

FIRM FLOOD ZONE 'X' - SHADED - COMMUNITY PANEL NUMBER 3402500456F, MONMOUTH COUNTY, N.J., - DATED SEPT. 25, 2009.
FEMA PRELIMINARY FIRM FLOOD ELEVATION ZONE 'X' - SHADED, JANUARY 30, 2015

EXISTING BUILDING COVERAGE		EXISTING UNPERMITTED COVERAGE	
EXIST. DWELING	1,489 S.F.	EXIST. DWELING	1,489 S.F.
EXIST. FRONT PORCH	900 S.F.	EXIST. FRONT PORCH	900 S.F.
EXIST. SHED	100 S.F.	EXIST. SHED	100 S.F.
TOTAL BUILDING COVERAGE	1,689 S.F.	TOTAL BUILDING COVERAGE	1,689 S.F.
PROPOSED BUILDING COVERAGE		PROPOSED UNPERMITTED COVERAGE	
EXIST. DWELING FRONT PORCH	1,489 S.F.	EXIST. DWELING FRONT PORCH	1,489 S.F.
PROP. REAR COVERED PORCH	105 S.F.	PROP. REAR COVERED PORCH	105 S.F.
PROP. REAR ADDITION	209 S.F.	PROP. REAR ADDITION	209 S.F.
TOTAL UNPERMITTED COVERAGE	1,803 S.F.	TOTAL UNPERMITTED COVERAGE	1,803 S.F.

2017 Rev. 3/ Building Code 202, Adopted on 6/19/13

R.C. Associates Consulting Inc.
348 Euclid Avenue
Manasquan, NJ 08736

SECTION	DATE	BY
FOUNDATION	4/28/21	WAM
FRONT PORCH	4/28/21	WAM
REAR PORCH	4/28/21	WAM
REAR ADDITION	4/28/21	WAM
DRIVEWAY	4/28/21	WAM
SETBACKS	4/28/21	WAM
SOIL BORING	4/28/21	WAM
GENERAL NOTES	4/28/21	WAM
AREA MAP	4/28/21	WAM
ROOF LEADER TO SPLASH BLOCK	4/28/21	WAM
SOIL BORING	4/28/21	WAM
FINAL PLAN	4/28/21	WAM

DEPTH	THICKNESS	DESCRIPTION
0' - 1'	18"	Topsoil
1' - 2'	18"	Loam
2' - 3'	18"	Loam
3' - 4'	18"	Loam
4' - 5'	18"	Loam
5' - 6'	18"	Loam
6' - 7'	18"	Loam
7' - 8'	18"	Loam
8' - 9'	18"	Loam
9' - 10'	18"	Loam
10' - 11'	18"	Loam
11' - 12'	18"	Loam
12' - 13'	18"	Loam
13' - 14'	18"	Loam
14' - 15'	18"	Loam
15' - 16'	18"	Loam
16' - 17'	18"	Loam
17' - 18'	18"	Loam
18' - 19'	18"	Loam
19' - 20'	18"	Loam
20' - 21'	18"	Loam
21' - 22'	18"	Loam
22' - 23'	18"	Loam
23' - 24'	18"	Loam
24' - 25'	18"	Loam
25' - 26'	18"	Loam
26' - 27'	18"	Loam
27' - 28'	18"	Loam
28' - 29'	18"	Loam
29' - 30'	18"	Loam
30' - 31'	18"	Loam
31' - 32'	18"	Loam
32' - 33'	18"	Loam
33' - 34'	18"	Loam
34' - 35'	18"	Loam
35' - 36'	18"	Loam
36' - 37'	18"	Loam
37' - 38'	18"	Loam
38' - 39'	18"	Loam
39' - 40'	18"	Loam
40' - 41'	18"	Loam
41' - 42'	18"	Loam
42' - 43'	18"	Loam
43' - 44'	18"	Loam
44' - 45'	18"	Loam
45' - 46'	18"	Loam
46' - 47'	18"	Loam
47' - 48'	18"	Loam
48' - 49'	18"	Loam
49' - 50'	18"	Loam
50' - 51'	18"	Loam
51' - 52'	18"	Loam
52' - 53'	18"	Loam
53' - 54'	18"	Loam
54' - 55'	18"	Loam
55' - 56'	18"	Loam
56' - 57'	18"	Loam
57' - 58'	18"	Loam
58' - 59'	18"	Loam
59' - 60'	18"	Loam
60' - 61'	18"	Loam
61' - 62'	18"	Loam
62' - 63'	18"	Loam
63' - 64'	18"	Loam
64' - 65'	18"	Loam
65' - 66'	18"	Loam
66' - 67'	18"	Loam
67' - 68'	18"	Loam
68' - 69'	18"	Loam
69' - 70'	18"	Loam
70' - 71'	18"	Loam
71' - 72'	18"	Loam
72' - 73'	18"	Loam
73' - 74'	18"	Loam
74' - 75'	18"	Loam
75' - 76'	18"	Loam
76' - 77'	18"	Loam
77' - 78'	18"	Loam
78' - 79'	18"	Loam
79' - 80'	18"	Loam
80' - 81'	18"	Loam
81' - 82'	18"	Loam
82' - 83'	18"	Loam
83' - 84'	18"	Loam
84' - 85'	18"	Loam
85' - 86'	18"	Loam
86' - 87'	18"	Loam
87' - 88'	18"	Loam
88' - 89'	18"	Loam
89' - 90'	18"	Loam
90' - 91'	18"	Loam
91' - 92'	18"	Loam
92' - 93'	18"	Loam
93' - 94'	18"	Loam
94' - 95'	18"	Loam
95' - 96'	18"	Loam
96' - 97'	18"	Loam
97' - 98'	18"	Loam
98' - 99'	18"	Loam
99' - 100'	18"	Loam

BOUNDARY & SITE INFORMATION TAKEN FROM A SURVEY ENTITLED "PLAN OF SURVEY, LOT 2.01, BLOCK 115, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", PREPARED FOR THOMAS LANGELLA, PREPARED BY CHARLES OVALLEY, PROFESSIONAL LAND SURVEYOR NJ LIC. NO. 0534971, DATED 6/9/09.

SOIL BORING

DATE: 4/28/21
SCALE: AS SHOWN
JOB #: 2020.238
SHEET: 1 OF 1

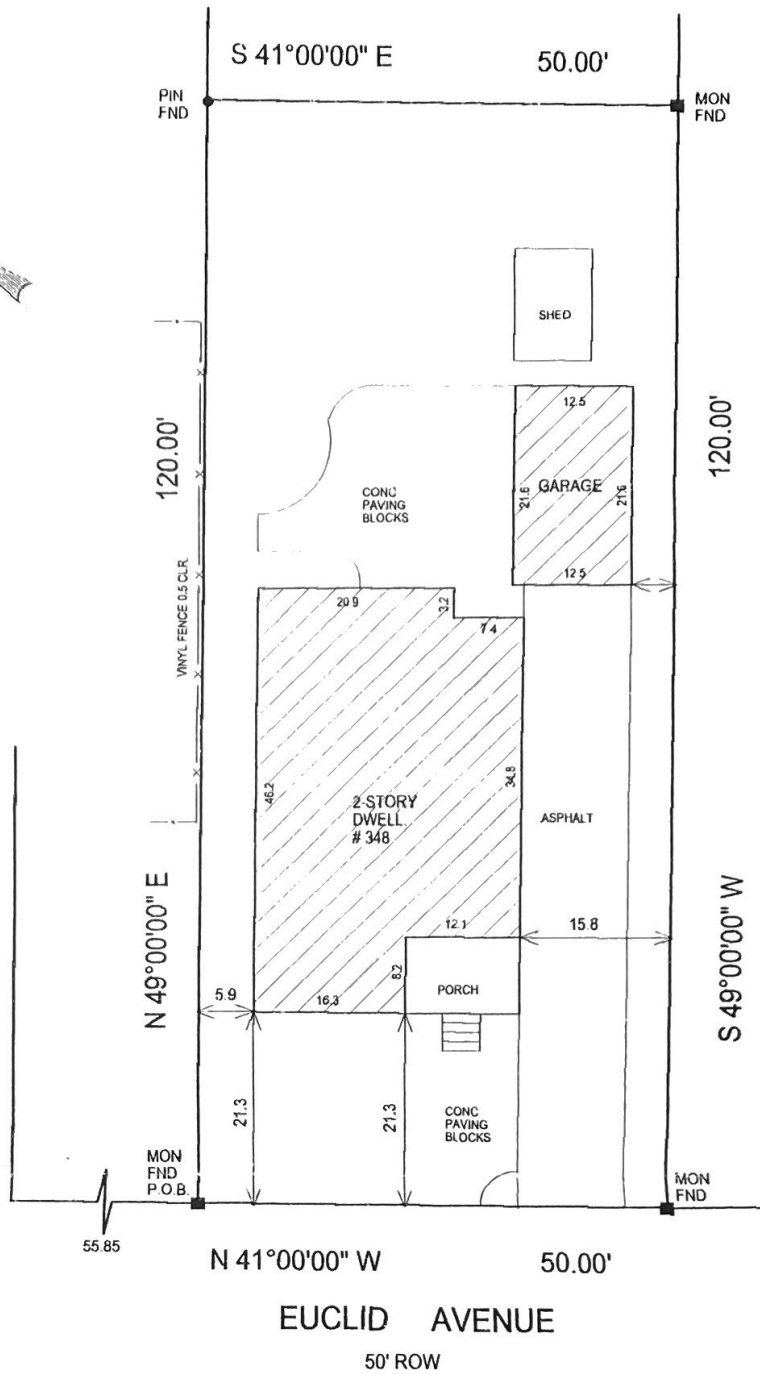
R.C. ASSOCIATES Consulting, Inc.
Valley Park Professional Center
2517 Route 35 Building J Suite 102
Manasquan, New Jersey, 08736
Ph: 732-528-0141 • Fax: 732-528-1060

RAY CARPENTER P.E.
PROFESSIONAL ENGINEER, N.J. Lic. No. G232223

LANGELLA GRADING PLAN
BLOCK 115 - LOT 2.01
348 EUCRID AVENUE
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, N.J.



SOUTH McCLELLAN AVENUE



THIS SURVEY CERTIFIED TO:
 THOMAS J. LANGELLA, single
 MANASQUAN SAVINGS BANK and/or its assigns
 TRIDENT ABSTRACT TITLE AGENCY, LLC
 STEWART TITLE GUARANTY COMPANY
 JOHN C. CARTON, ESQ.

This survey subject to any easement of record and other pertinent facts which an accurate title search might disclose. Any subsurface easements, if any, not visible are not located by this survey. Due to certain weather conditions, i.e. ice, and/or snow and/or the overgrown vegetation on the property, interior sidewalks and/or patios may not be shown on the plat. No liability is assumed by the certifying surveyor for the use by any party not shown in the certification. The work product of the surveyor constitutes an opinion of the land surveyor as to the nature and quality of the property surveyed. Moreover, that certification does not constitute a warranty, either expressed or implied as to the absolute correctness of the information presented in such survey.

Charles O'Malley
CHARLES O'MALLEY, P.L.S.
 Professional Land Surveyor
 New Jersey Lic. No. GS34871
 908 Riverview Drive
 Brielle, New Jersey 08730
 (732) 223-3141

PLAN OF SURVEY
 LOT 2.01 BLOCK 115
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY
 NEW JERSEY

Drawn By C.O'M.	Chk'd By	File No. 09-11982	Date 6/19/09	Scale 1"=20'
--------------------	----------	----------------------	-----------------	-----------------

NOV 08 2021

DPW _____ CONST _____
PO _____ OTHER _____

November 5, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1760
Minor Subdivision – White & Dattilo
Block 155, Lots 2,3 & 4
6, 8 & 10 Pearce Court
R-3 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Subdivision Plan prepared by William Fiore, PLS, of William J. Fiore, Inc., dated June 7, 2020.

Existing Lot 2 contains 3,557.75 square feet, existing Lot 3 contains 3,788.75 square feet, and existing Lot 4 contains 3,825.5 square feet. All lots front on Pearce Court and are located in the R-3 Residential Zone. With this application, the applicant intends to create two lots from the existing three lots, one containing 5,442.94 and the other containing 5,729.07 square feet.

The application is deemed complete as of November 5, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-3 - Residential Zone, where the existing and proposed residential lots are permitted.
2. No new variances are required as part of this application.
3. The following non-conformities exist on Lot 4 and are not proposed to be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of 24.8 feet exists to the existing dwelling.



Re: Boro File No. MSPB-R1760
Minor Subdivision – White & Dattilo
Block 155, Lots 2,3,4

November 5, 2021
Sheet 2

4. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements
5. A monument must be set at the intersection of the new lot line and the existing right-of-way. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
6. The applicant should be aware that the dock crosses the proposed new lot line. Ownership or right of access for use of the dock should be addressed by the applicants.
7. The proposed revised lot numbers should be reviewed and approved by the tax office.
8. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Michael Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
William Fiore, PLS
263 Brick Boulevard, Unit 5, Brick, NJ 08723

Office: (732) 223-1599
Fax: (732) 223-8802

Board Members:
Chairman John White
Secretary Carmen Triggiano
1st Vice Chairman Drew Coder
2nd Vice Chairman Brian Wick
Treasurer Jack Herbert

Manasquan Fire District #1
Office of the Board of Fire Commissioners
38 Taylor Ave
Manasquan, NJ 08736
Member of the New Jersey State
Fire District Association

Hook & Ladder Co. #1
Volunteer Engine Co. #2

Chief Tom Schofield
Deputy Chief Ed Hill
Fire Director Chris Barkalow

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ GFO _____

NOV 12 2021

DPW _____ CONST _____
PD _____ OTHER _____

To: Barbara Ilaria, Planning Board Secretary
From: Christopher Barkalow, Fire Marshal
Date: November 10, 2021
Re: Plan Review – 6, 8, 10 Pearce Ct. (Block: 155 – Lots: 2, 3, 4)

As you requested, I have reviewed the planning board application package for 6, 8, and 10 Pearce Ct. (Block: 155 – Lots: 2, 3, 4) and the site plan prepared by William J. Fiore, dated 6/7/21. The Manasquan Fire Bureau has no concerns with plans as they are submitted.

If you have any questions or comments please feel free to contact me.

Sincerely,



Christopher Barkalow
Fire Marshal

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Thomas White & Jeff Dattilo

*Applicant's Address: 6 Pearce Court, Manasquan, NJ 08736 & 10 Pearce Court, Manasquan, NJ 08736

*Telephone Number: Home: 732-618-1130 Cell: 908-715-5408

*e-mail Address: michael@hendersonlawfirmnj.com

*Property Location: 6 Pearce Court, 8 Pearce Court & 10 Pearce Court

*Block: 155 Lot: 2, 3 & 4

*Type of Application: Minor Subdivision
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: September 21, 2021
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? No


*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? None affecting this application.

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.


C. KEITH HENDERSON, ESQ.
Attorney for the Applicants
06/2021

10/19/21
Date

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

September 21, 2021

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 155 Lot: 2,3,4 Zone: R-3
White & Dattilo – 6, 8, 10 Pearce Court

Dear Sir:

On this date we reviewed your application for the following project.

Subdivide Block 155, Lot 3 and consolidate lot 3 into proposed lots 3.01 and 3.02 and create two fully conforming lots in the R-3 Zone. (Proposed lot 3.01 – 5,442.94s.f.) – (Proposed lot 3.02 – 5,729.07s.f.)

Application denied for the following reason(s):

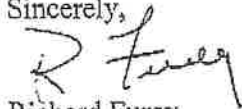
Section 32-8.1 – Requires Planning Board approval for the proposed minor subdivision.

Proposed Lot 3.02

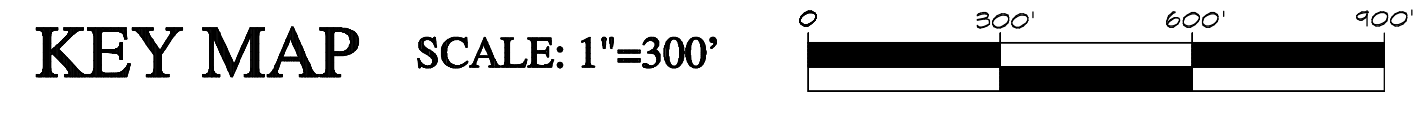
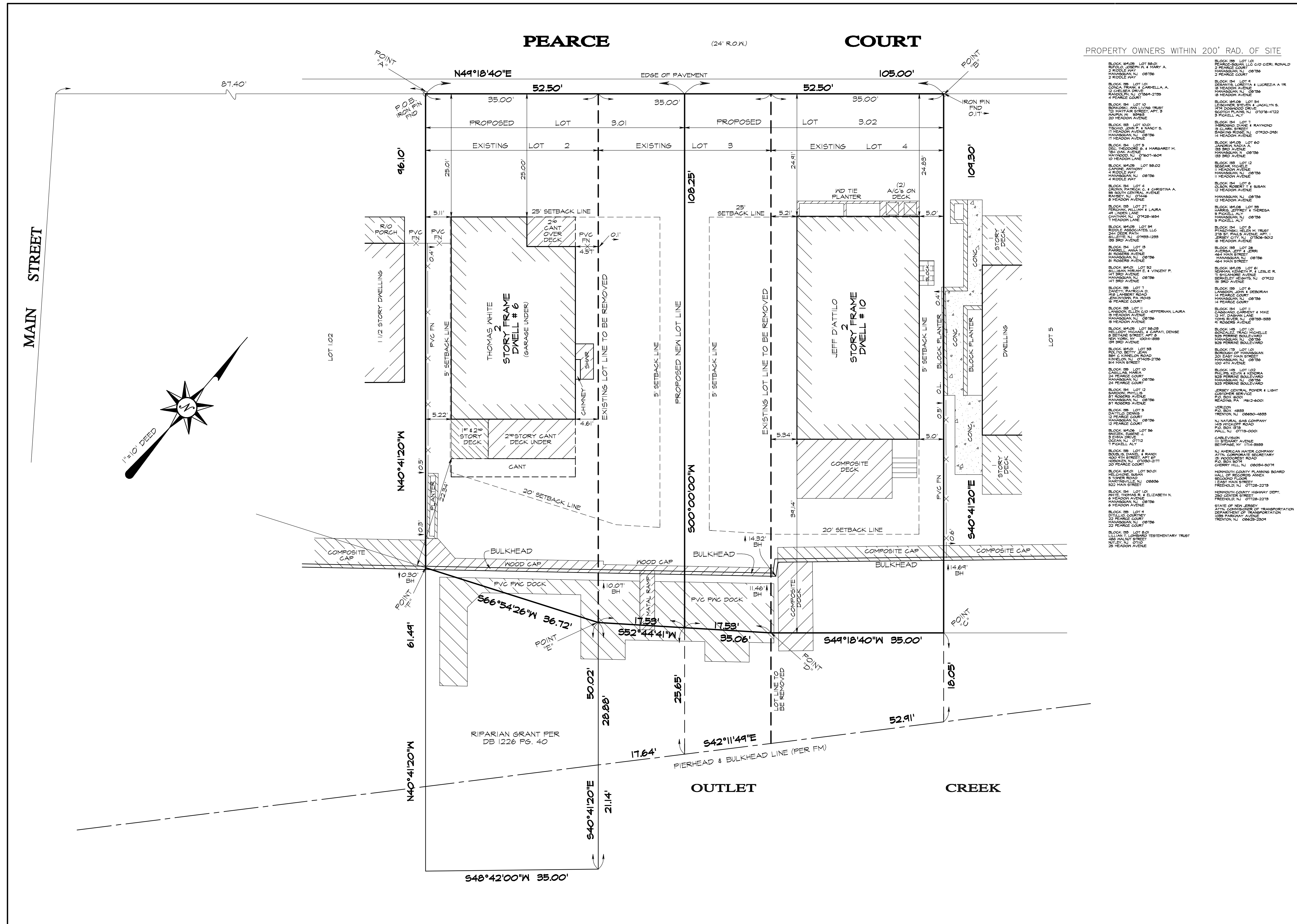
Section 35-9.4 – Front Setback – 25ft. Required
24.83 Existing and proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer



- GENERAL NOTES**
- 1) THE PURPOSE OF THIS SUBDIVISION IS TO DIVIDE TAX LOT 3 WITH EACH APPLICANT RECEIVING HALF. NO NEW CONSTRUCTING OR GRADING IS PROPOSED AS A RESULT OF THIS SUBDIVISION.
 - 2) PROPERTY DELINEATED HEREON KNOWN AS LOTS 2, 3 AND 4, BLOCK 155 ON THE BOROUGH OF MANASQUAN TAX MAP (SHEET # 25)
 - 3) PROPERTY SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOTS 2, 3 AND 4 BLOCK 155 AS SHOWN ON A CERTAIN MAP, REVISED MAP, SECTION 5, MANASQUAN SHORES, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J., SAID MAP BEING FILED IN THE MONMOUTH COUNTY CLERK'S ON 2/25/1941 AS CASE NO. 34-8.
 - 4) OUTBOUND INFORMATION BASED UPON A FIELD SURVEY PERFORMED BY WILLIAM J. FIORE PROFESSIONAL LAND SURVEYOR G.S. #35362 DATED 6/02/2021.
 - 5) SURVEY ACCURACY IS GREATER THAN 1:15000.
 - 6) PUBLIC WATER AND SEWER IS AVAILABLE TO THE SITE.
 - 7) THE TOTAL UPLANDS AREA BEING SUBDIVIDED IS 11,172.8 Sq. Ft. OR 0.2565 Acres
 - 8) PROPOSED LOT NUMBERS SHOWN HEREON TO BE APPROVED BY THE BOROUGH OF MANASQUAN TAX ASSESSORS OFFICE.
 - 9) PROPERTY SHOWN HEREON LIES IN THE R-3 RESIDENTIAL ZONE.
 - 10) COORDINATE VALUES ARE ASSUMED.
- OWNER/APPLICANTS
 THOMAS WHITE
 6 PEARCE COURT
 MANASQUAN, N.J. 08736
- JEFF DATTILO
 10 PEARCE COURT
 MANASQUAN, N.J. 08736

POINT	COORDINATE VALUES	
	NORTH	EAST
A	5000.0000	5000.0000
B	5068.4561	5079.6189
C	4985.5781	5150.8771
D	4952.7598	5124.3380
E	4941.6339	5096.4297
F	4927.1316	5062.6520

ZONE R-3 REQUIRED	EXIST LOT 2	PROPOSED LOT 3.01	EXISTING LOT 4	PROPOSED LOT 3.02	EXIST LOT 3
MINIMUM LOT AREA 3,400 S.F.	3,552.75 S.F.	5,442.94 S.F.	3,825.5 S.F.	5,729.07 S.F.	3,788.75 S.F.
MINIMUM FRONTAGE 40 FT.	33 FT.	33 FT.	35 FT.	35 FT.	35 FT.
MIN. FRONT SETBACK 25 FT.	25 FT.	25 FT.	24.8 FT.	24.8 FT.	N/A
MIN. SIDE SETBACK 5 FT.	5.11 FT.	5.11 FT.	5.0 FT.	5.0 FT.	N/A
MIN. REAR SETBACK 20 FT.	22.34 FT.	22.34 FT.	39.14 FT.	39.14 FT.	N/A

THIS PLAN MUST BE FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON OR BEFORE _____, WHICH DATE IS NINETY FIVE (95) DAYS AFTER THE DATE UPON WHICH THIS PLAN WAS SIGNED BY THE MANASQUAN BOROUGH PLANNING BOARD.

PLANNING BOARD SECRETARY

THOMAS WHITE _____

JEFF DATTILO _____

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021

NOTARY PUBLIC OF NEW JERSEY

MY COMMISSION EXPIRES _____

APPROVED AS A MINOR SUBDIVISION BY THE PLANNING BOARD OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

DATE: _____

THIS PLAN (OR A DEED DESCRIBING THIS SUBDIVISION) MUST BE FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE _____, 2021, WHICH DATE IS ONE HUNDRED NINETY (190) DAYS AFTER APPROVAL.

SECRETARY, _____

CHAIRMAN, _____

ENGINEER, _____

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW" (NOW PART OF THE RECORDATION ACT) AND REGULATIONS APPLICABLE THERETO.

MUNICIPAL ENGINEER _____

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND THE LAND SURVEY DATED 5/20/20 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW" (NOW PART OF THE RECORDATION ACT) AND THAT THE MONUMENTS AS SHOWN WILL BE SET AS INDICATED.

WILLIAM J. FIORE, P.L.S.
 LICENSED PROFESSIONAL LAND SURVEYOR 66 35362

MINOR SUBDIVISION
LOTS 2, 3 AND 4 BLOCK 155
 ON THE
BOROUGH OF MANASQUAN
 TAX MAP
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

CERT. OF AUTH. # 24GA27979000
WILLIAM J. FIORE, INC.
 PROFESSIONAL LAND SURVEYORS
 263 BRICK BLVD., UNIT 5, BRICK, NJ 08723
 TEL. (732) 920-5100 FAX (732) 920-5199

WILLIAM J. FIORE, PROFESSIONAL LAND SURVEYOR GS# 35362 DATE 6/07/2021

PROJECT NO. 31836 DRAWN BY: JDP

M&S _____
CLERK _____ DPW _____

NOV 15 2021

DPW _____
PD _____

November 12, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1770
Minor Subdivision – 309 Euclid Avenue LLC
Block 118, Lot 17.01
309 Euclid Avenue
R-2 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Subdivision Plan prepared by Justin Hedges, PLS, of InSite Surveying, LLC, dated November 3, 2021.
2. Architectural Floorplans and Elevations prepared by Paul Grabowski, RA, of Virtuoso Architecture, dated December 4, 2020 and April 13, 2021.

Existing Lot 17.01 contains 10,000 square feet and fronts on Euclid Avenue and South Farragut Avenue. With this application, the applicant intends to create two conforming lots, one containing 5,000 square feet with frontage on Euclid Avenue and one containing 5,000 square feet with frontage on Euclid Avenue and South Farragut Avenue.

The application is deemed complete as of November 12, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the existing and proposed residential lots are permitted.
2. No bulk ('c') variances are required as part of this application.
3. There is an existing dwelling and other improvements on the property which are indicated on the plan as to be removed. These dwellings and improvements must be removed before the subdivision may be signed by the Planning Board, otherwise multiple variances would be created.




Re: Boro File No. MSPB-R1770
 Minor Subdivision – 309 Euclid Avenue LLC
 Block 118, Lot 17.01

November 12, 2021
 Sheet 2

4. The applicant must indicate how driveway access and parking will be provided for the proposed lots. The proposed improvements will need to replace the curb and sidewalk and for the new driveway apron. A street excavation permit will be required for any new apron and depressed curb located within the borough right-of-way.
5. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements
6. Monuments are shown as to be set at the intersections of the proposed lot line. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
7. The applicant should be aware that the existing fence meanders over the property line from adjacent Lot 11.01.
8. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading and front yard landscaping plans will also be required.
9. Separate water and sewer utility connections will be required for both of the proposed lots.
10. The proposed revised lot numbers should be reviewed and approved by the tax office.
11. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


 ALBERT D. YODAKIS, P.E., P.P.
 PLANNING BOARD ENGINEER
 BOROUGH OF MANASQUAN

ADY:jy



Re: Boro File No. MSPB-R1770
Minor Subdivision – 309 Euclid Avenue LLC
Block 118, Lot 17.01

November 12, 2021
Sheet 3

cc: George McGill, esq., Planning Board Attorney
Ray Carpenter, PE, PP
R.C. Associates, 2517 Route 35, Bldg J, Suite 102, Manasquan, NJ 08736
Ralco Builders
139 Union Avenue, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: 309 Euclid Avenue LLC

*Applicant's Address: 139 Union Avenue, Manasquan, NJ 08736

*Telephone Number: Home: 732-223-2005 Cell: 732-580-8393

*e-mail Address: nducharme@ralcobuilders.com

*Property Location: 309 Euclid Avenue

*Block: 118 Lot: 17.01

*Type of Application: Minor Subdivision

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: 10/19/21

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? No

*Does the Applicant own any adjoining land? No

*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? None

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.


Signature of Applicant or Agent
Neil Ducharme, Managing Member

11/4, 2021
Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

Item 11.

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

October 19, 2021

Ralco Builders
139 Union Avenue
Manasquan, NJ 08736

Re: Block: 118 Lot: 17.01 Zone: R-2
309 Euclid Avenue

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the building and structures on the property and subdivide Block: 118, Lot: 17.01 into two fully conforming lots in the R-2 Zone. (Proposed Lot: 17.02 – 5,000s.f.) (Proposed Lot: 17.03 – 5,000s.f.).

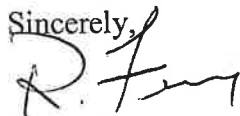
Survey prepared by Robert Ragan on September 7, 2012. Minor subdivision plan prepared Ray Carpenter on October 13, 2021.

Application denied for the following reason(s):

Section 32-8.1- Requires Planning Board approval for the proposed minor subdivision.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

PROPERTY OWNERS WITHIN 200 FT.

UTILITIES TO BE NOTIFIED

JERSEY CENTRAL POWER & LIGHT CO.
CUSTOMER SERVICE
PO BOX 1800
MADISON, NJ 08812-0001

VERIZON
PO BOX 4833
TRENTON, NJ 08650-4833

NJ NATIONAL GAS COMPANY
1415 WILKOFF ROAD
PO BOX 1379
MILL, NJ 07718-0001

MONMOUTH COUNTY PLANNING BOARD
131 WILKOFF ROAD
PO BOX 5078
TRENTON, NJ 08650-5078

MONMOUTH COUNTY PLANNING BOARD
HALL OF RECORDS ANNEX
SECOND FLOOR
1 E. MAIN STREET
TRENTON, NJ 07228-2273

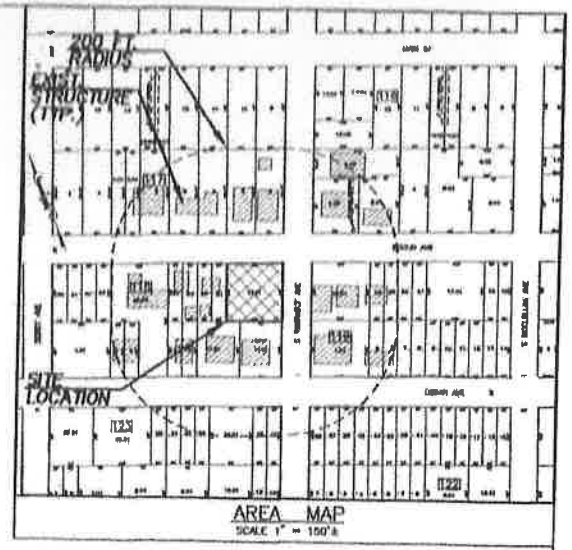
MONMOUTH COUNTY HIGHWAY DEPT.
250 CENTER STREET
TRENTON, NJ 07228-2485

STATE OF NEW JERSEY
ATTN: COMMISSIONER OF TRANSPORTATION
DEPARTMENT OF TRANSPORTATION
1055 PARKWAY AVENUE
TRENTON, NJ 08625-2300

DESCRIPTION	REGULATED/ESTIMATED	EXISTING LOT	PROP. LOT 17.01	PROP. LOT 17.02
LAND USE	SINGLE FAMILY	SINGLE FAMILY	SINGLE FAMILY	SINGLE FAMILY
LOT AREA	8,000 SF	10,000 SF	8,000 SF	8,000 SF
MIN. LOT FRONTAGE	50 FT.	100 FT.	50 FT.	50 FT.
FRONT YARD SETBACK (EUC. AVE)	25 FT.	25 FT.	25 FT. (MIN.)	25 FT. (MIN.)
SIDE YARD SETBACK (S. FARRAGUT AVE)	10 FT.	10 FT.	10 FT. (MIN.)	10 FT. (MIN.)
REAR YARD SETBACK (REAR)	5 FT.	5 FT.	5 FT. (MIN.)	5 FT. (MIN.)
MAX. BUILDING HEIGHT	20 FT.	20 FT.	20 FT. (MAX.)	20 FT. (MAX.)
MAX. BUILDING COVERAGE	35 FT. (S.S. SET)	35 FT. (S.S. SET)	35 FT. (MAX.)	35 FT. (MAX.)
MAX. LOT COVERAGE	45 %	29.65 % (2,595 SF.)	30 % (MAX.)	45 % (MAX.)

NOTES:
1. LOCATION OF PROPOSED UTILITIES
2. LOCATION OF PROPOSED CURB CUTS
3. LOCATION OF STORMWATER RETENTION SYSTEM

(WILL BE PROVIDED ON DEVELOPMENT PLANS FOR RESIDENTIAL LOTS PRIOR TO CONSTRUCTION)
(WILL BE PROVIDED ON DEVELOPMENT PLANS FOR RESIDENTIAL LOTS PRIOR TO CONSTRUCTION)
(WILL BE PROVIDED ON DEVELOPMENT PLANS FOR RESIDENTIAL LOTS PRIOR TO CONSTRUCTION)



OWNER: MICHAEL & KAREN LONG
44 SOUTH McCLELLAN AVENUE
MANASQUAN, NJ 08738

APPLICANT: 309 EUCLID AVE LLC
135 LINCOLN AVENUE
MANASQUAN, NJ 08738

- NOTES
- THE TOTAL AREA OF LOTS TO BE SUBDIVIDED IS: 16,000 SF, OR 0.360 AC.
 - MAJOR SURVEYORS BASED ON A SURVEY ENTITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF BLOCK 118, LOT 17.01, 309 EUCLID AVENUE, SITUATED IN BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY," PREPARED BY JAMES J. HEDGES, PROFESSIONAL LAND SURVEYOR, 14 LEONARD BL., GRASSIE, GAIED 11/25/04.
 - THE ABOVE REFERENCED SURVEY CHECKS PRECISION OF 1:16,000.
 - THE SUBJECT PROPERTY IS SHOWN ON THE BOROUGHS OF MANASQUAN SIX MAP SHEET NO. 30.
 - TOTAL NUMBER OF EXISTING LOTS(S) = 1 LOTS
 - TOTAL NUMBER OF PROPOSED LOTS = 2 LOTS
 - PROPOSED LOT LINES WILL BE REVIEWED & APPROVED BY THE TAX ASSESSOR OF THE BOROUGH OF MANASQUAN (JOHN PERAZ, CTA).
 - THERE ARE NO METEOROLOGICAL OR ENVIRONMENTAL CONSTRAINTS THAT PERTAIN TO THE PROPERTY IN QUESTION.
 - PROPOSED DRIVEWAY AND CURB CUT LAYOUT FOR PROPOSED LOTS 17.01 & 17.02 TO BE PROVIDED AT THE TIME OF APPLICATION FOR A DEVELOPMENT PERMIT FOR EACH LOT.
 - PROPOSED UTILITY CONDUITS AND LAYOUTS FOR NEW LOTS 17.01 & 17.02 SHALL BE PROVIDED AT THE TIME OF APPLICATION FOR A DEVELOPMENT PERMIT FOR EACH LOT. EACH LOT WILL HAVE INDEPENDENT UTILITY CONNECTIONS.
 - A STREET CLOSING PERMIT WILL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN THE EXISTING AVENUE AND/OR SOUTH FARRAGUT AVENUE FRONT-OF-YARD.
 - PERA ACTIVE FIRM FLOOD ZONE "X" - SHADDED, COMMUNITY MAP 20080408F, MONMOUTH COUNTY, SEPTEMBER 20, 2008. (FRONT HALF OF LOT)
 - PERA PRELIMINARY FIRM BYE - ZONE "X" - DATED JANUARY 30, 2015. (FRONT HALF OF LOT)
 - VERTICAL DATUM = M.A.S.L. 1988 DATUM.
 - HORIZONTAL COORDINATES BASED ON N.A.D. 83, NAD83 DATUM.
 - SUBDIVISION SHALL BE FILED BY DEED.
 - PROPOSED LOTS WILL BE DESIGNED TO PROVIDE ADEQUATE OFF-STREET PARKING PER R.U.S.D. AND TOWNSHIP STANDARDS.
 - THE DESIGN OF DRIVEWAY AND UNDERGROUND STORAGE FOR PROPOSED LOTS 17.01 & 17.02 SHALL BE PROVIDED AT THE TIME OF APPLICATION FOR A DEVELOPMENT PERMIT. THE PROPOSED DRAINAGE SYSTEM SHALL BE CONSISTENT WITH THE APPLICABLE BOROUGH OF MANASQUAN MANAGEMENT ORDINANCES. PROPOSED SYSTEM WILL ADHERE TO THE EXISTING GRADING PATTERNS TO RESPECT FLOW THROUGH THE CURB, OR INTO AN UNDERGROUND RETENTION SYSTEM. NO RUNOFF FROM PROPOSED IMPROVEMENTS WILL BE ALLOWED TO FLOW ONTO THE ADJACENT LOTS.
 - ALL EXISTING STRUCTURES SHALL BE DEMOLISHED PRIOR TO PERFECTION OF SUBDIVISION.

THE UNDERSIGNED, MICHAEL LONG, HEREBY DECLARES THAT THEY ARE THE OWNER OF LOT 17.01 IN BLOCK 118 DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP.

MICHAEL LONG
DATE _____ ADDRESS _____

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2022 BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY, PERSONALLY APPEARED _____ WHO I AM SATISFIED IS THE PERSON WHO SIGNED THE ABOVE CONSENT.

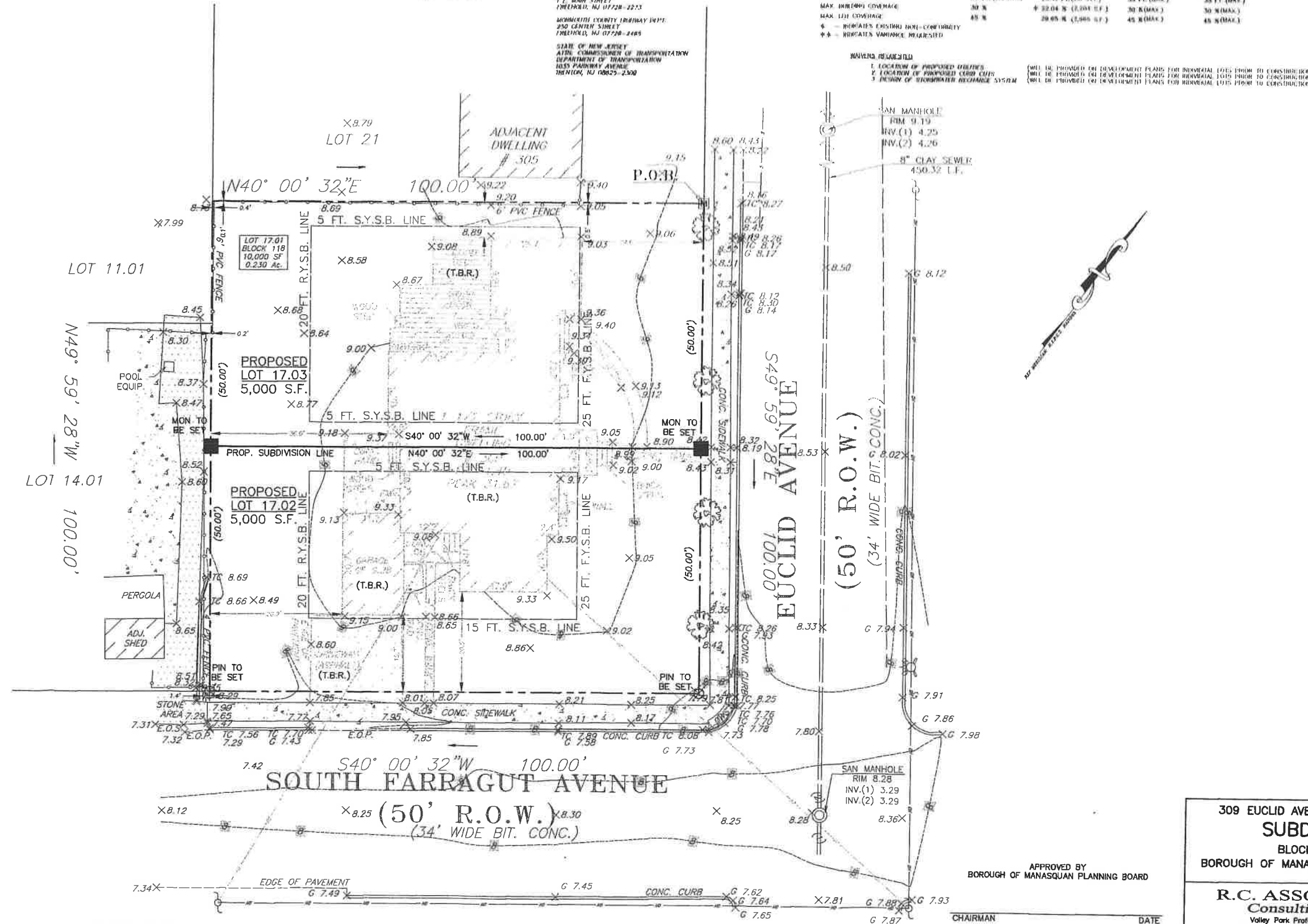
NOTARY SIGNATURE DATE _____

THE UNDERSIGNED, KAREN LONG, HEREBY DECLARES THAT THEY ARE THE OWNER OF LOT 17.02 IN BLOCK 118 DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP.

KAREN LONG
DATE _____ ADDRESS _____

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2022 BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY, PERSONALLY APPEARED _____ WHO I AM SATISFIED IS THE PERSON WHO SIGNED THE ABOVE CONSENT.

NOTARY SIGNATURE DATE _____



APPROVED BY
BOROUGH OF MANASQUAN PLANNING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
ENGINEER _____ DATE _____

309 EUCLID AVENUE MINOR SUBDIVISION PLAN
SUBDIVISION PLAN
BLOCK 118 - LOT 17.01
BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J.

R.C. ASSOCIATES
Consulting, Inc.
Volley Park Professional Center
2517 Route 35 Building J Suite 102
Middletown, New Jersey, 08858
Ph. 732-528-0141 Fax 732-528-1080

RAY CARPENTER P.E.
PROFESSIONAL ENGINEER, N.J. Lic. No. 023223

DRN BY: WAM
DATE: 11/3/21
SCALE: AS SHOWN
JOB #: 2021.209
SHEET: 1 OF 1

INSITE
Surveying

Insite Surveying, LLC
CERTIFICATE OF AUTHORIZATION
260A2020100
1915 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-521-7100 (PH) 732-521-7344 (FAX)
insite@insitesurveying.net
www.insitesurveying.net

CAUTION: IF THIS DOCUMENT BEARS ANY SIGNATURE AND/OR SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

JUSTIN J. HEDGES P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 0243262

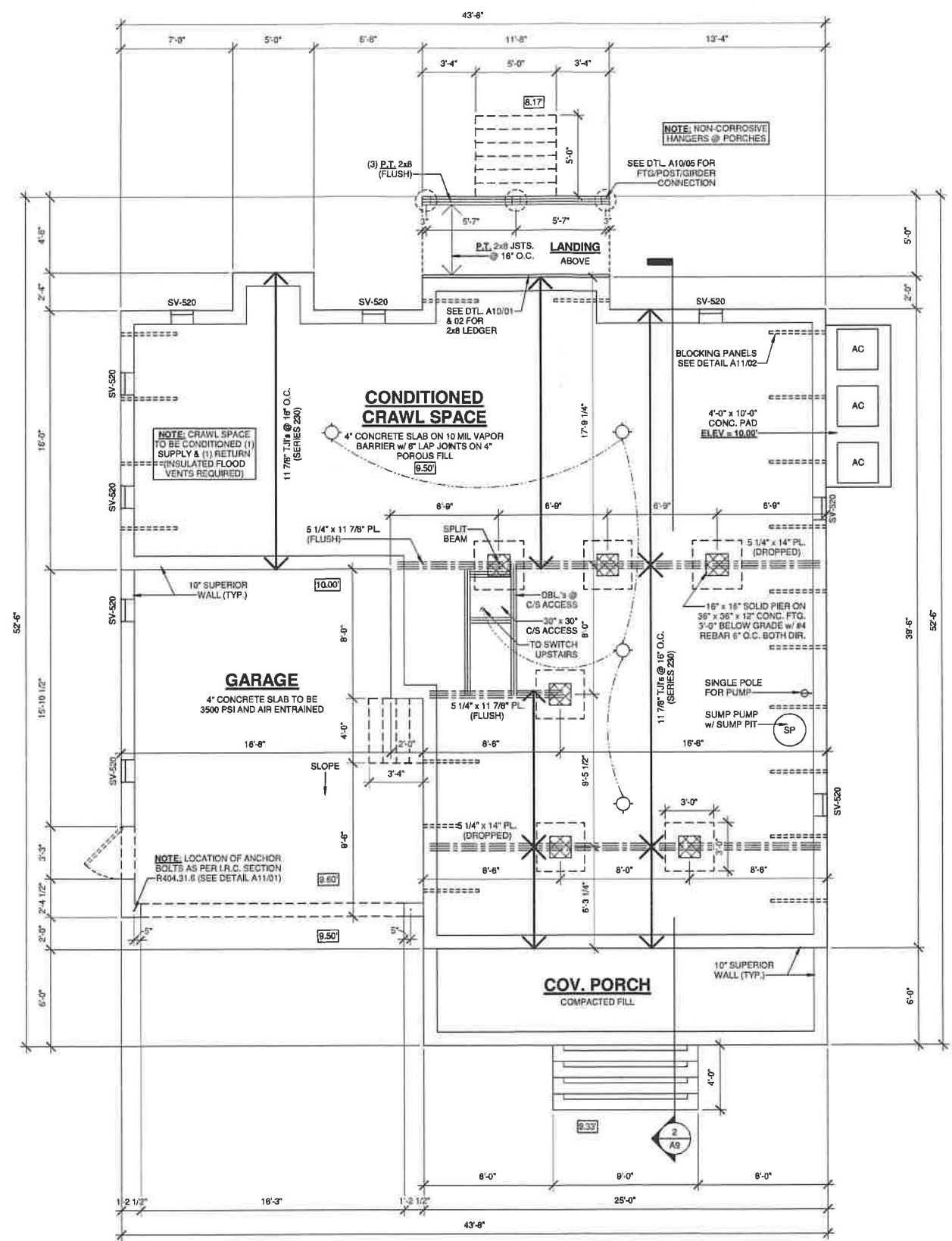
Managed By: PA
 Drawn By: SP
 Checked By: PG
 Date: 12/04/2020
 Issue For Review:
 Issue For Permit: 12/04/2020
 Issue For Construction: 12/04/2020
 Revisions:

© 2020 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.



MODEL 1
 309 EUCLID AVE
 MANASQUAN, NJ

VIRTUOSO ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com



1 FOUNDATION PLAN
 1/4" = 1'-0"

- NOTES:**
- FIRST FLOOR JOISTS: 11 7/8" TJI @ 16" O.C. U.N.O. (SERIES 230 U.N.O.)
 - BEAMS & GIRDERS TO HAVE 1/2" AIRSPACE AT CONCRETE WITH BEARING PLATE
 - FOUNDATION WALLS: 10" SUPERIOR WALLS (6'-0" PANELS)
 - CRAWL SPACE TO BE CONDITIONED (INSULATED VENTS REQUIRED)
 - PROVIDE (1) SUPPLY & (1) RETURN TO C/S

FLOOD VENTS PER R322.2.2		
GARAGE	385 sq. ft. / 200 sq. in.	2 SMART VENTS 1540-520 w/ LINTEL
CRAWL SPACE	1,326 sq. ft. / 200 sq. in.	7 INSULATED SMART VENTS 1540-520 w/ LINTEL
REQUIREMENTS	1,326 sq. ft. 1 SF / per 1500 SF	7 VENTS @ 50 sq. in. 350 sq. in. EXCEEDS CODE

Sheet No.
A2
 Project No.
 Scale 1/4" = 1'-0"

Managed By: _____
 Drawn By: _____
 Checked By: _____
 Date: 12/04/2020
 Issue For Review: _____
 Issue For Permit: 12/04/2020
 Issue For Construction: 12/04/2020
 Revisions: _____

©2020 Virtuoso Architecture, LLC
 This Document is the sole property
 and copyright of the Architect and
 shall not be used or reproduced in
 any form without authorization.

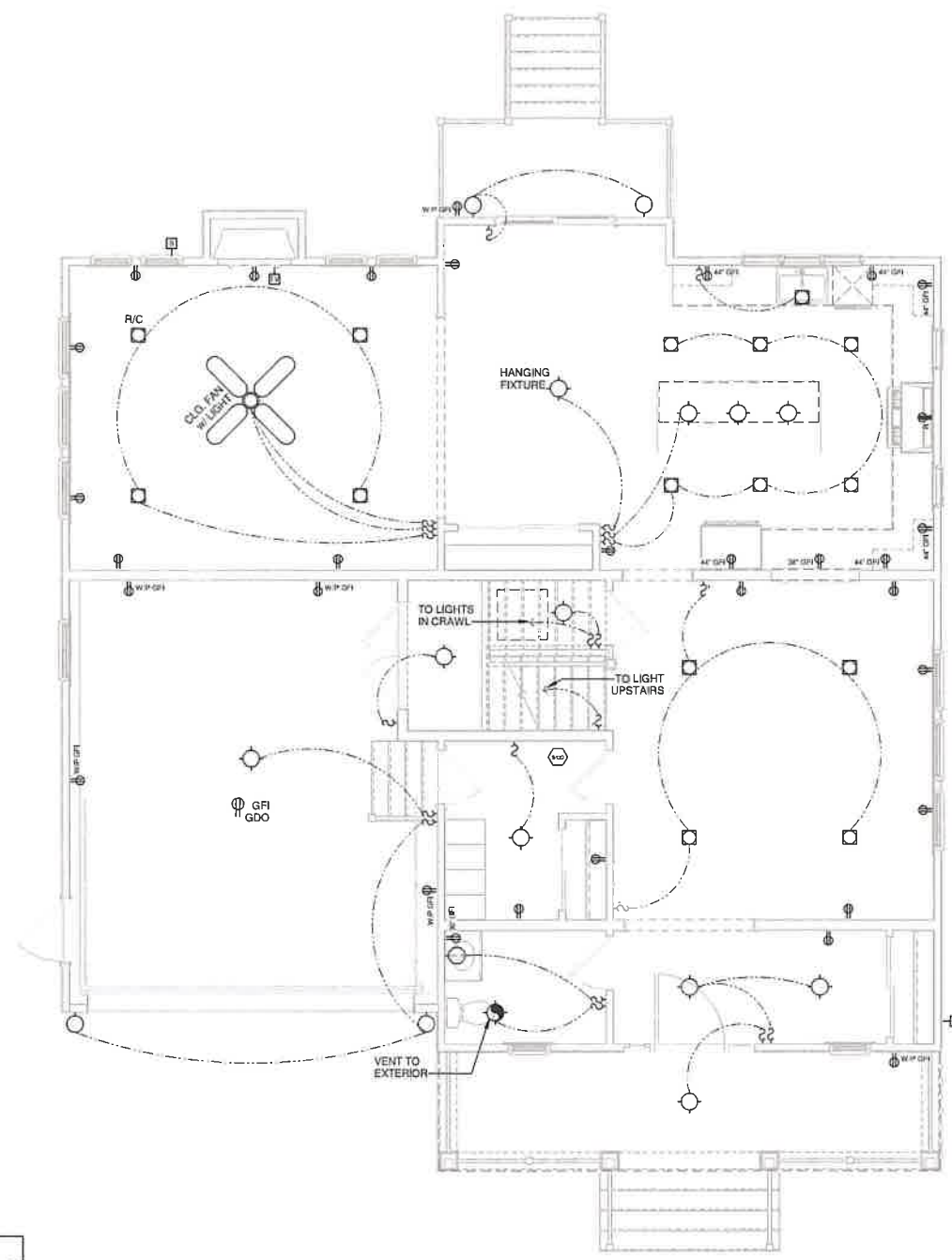


MODEL 1
 309 EUCLID AVE
 MANASQUAN, NJ



VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

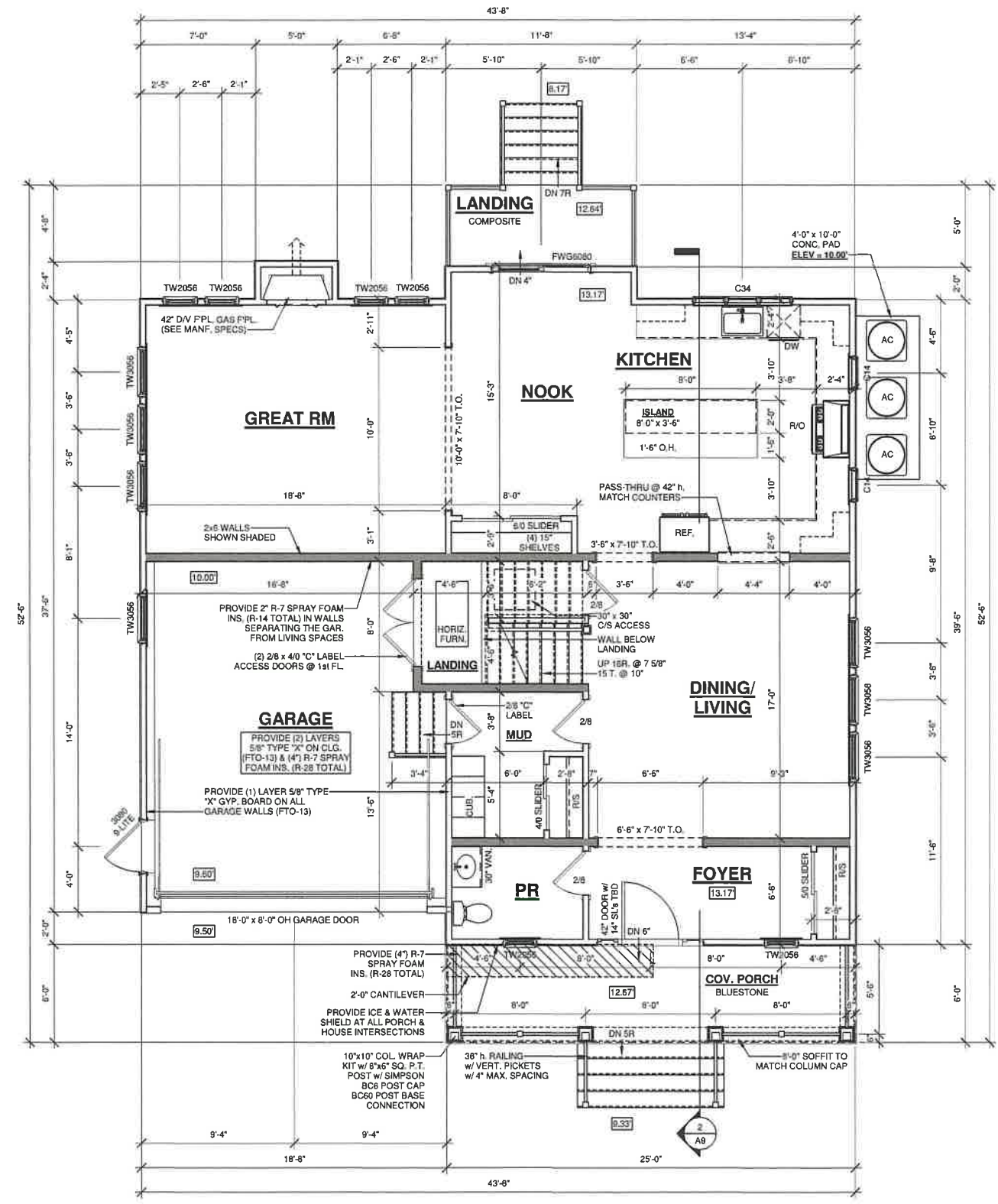
Sheet No. **A3**
 Project No. _____
 Scale 1/4" = 1'-0"



② FIRST FLOOR ELECTRICAL
 1/4" = 1'-0"

ELEC. LEGEND	
	WALL OUTLET
	220 VOLT WALL OUTLET
	DEDICATED WALL OUTLET
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	TELEPHONE JACK
	TELEVISION CONNECTION
	ELECTRICAL PANEL
	JUNCTION BOX
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CO DETECTOR
	RECESSED CAN LIGHT
	RECESSED EYEBALL LIGHT
	CEILING FAN
	WATER SPIGOT

ELECTRICAL NOTES:
 ALL SWITCHES TO BE 44" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
 ALL CONVENIENCE OUTLETS ARE TO BE 1'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.
 ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (6'-10" AT BATHROOM MIRRORS)
 ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.
 SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL, BE WIRED TOGETHER TO SOUND ALARM AND HAVE UL, RATED A.C. POWERED BATTERY BACKUP.
 VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.
 CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.
 NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 8'-0" FROM A RECEPTACLE OUTLET.
 ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.
 GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.8.
 ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.



① FIRST FLOOR PLAN
 1/4" = 1'-0"

- NOTES:**
- ALL WINDOW HEADERS HEIGHTS TO BE 7'-10"
 - ALL TRIMMED OPENING HEADERS TO BE 7'-10"
 - ALL WINDOW HEADERS ARE TO BE (2) 2x10's U.N.O.
 - ANDERSEN 200 SERIES LOW-E TILT-WASH WINDOWS w/ 1 1/8" INTERIOR & EXTERIOR GRILLS w/ SPACER BAR (REFER TO ELEVATIONS FOR GRILL PATTERNS)
 - FIRST FLOOR DOORS TO BE 6'-8" TALL
 - 2x6 WALLS SHOWN SHADED

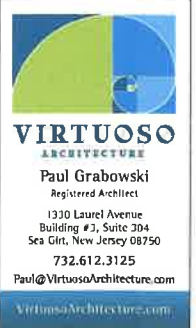
Managed By: PG
 Drawn By: SG
 Checked By: PG
 Date: 12/04/2020
 Issue For Review:

Issue For Permit: 12/04/2020
 Issue For Construction: 12/04/2020
 Revisions:

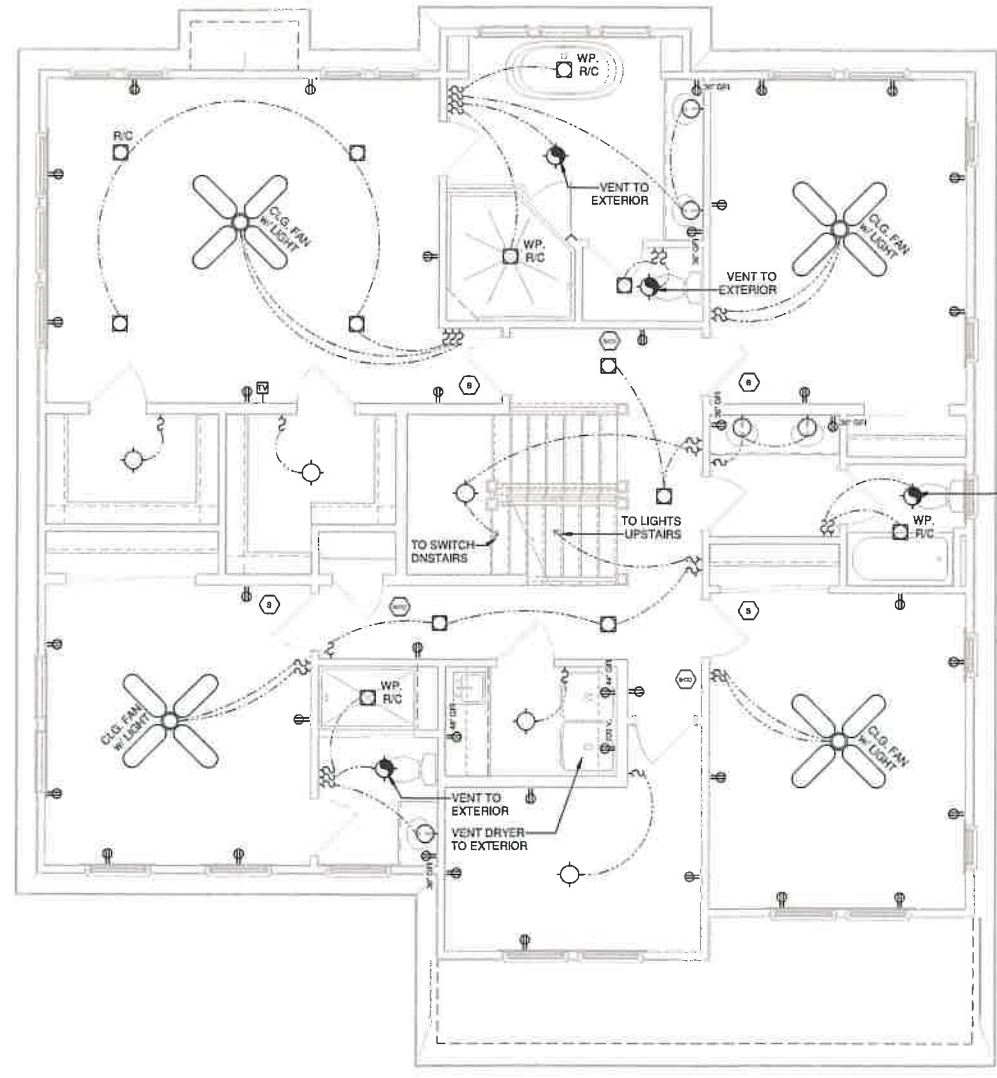
© 2020 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.



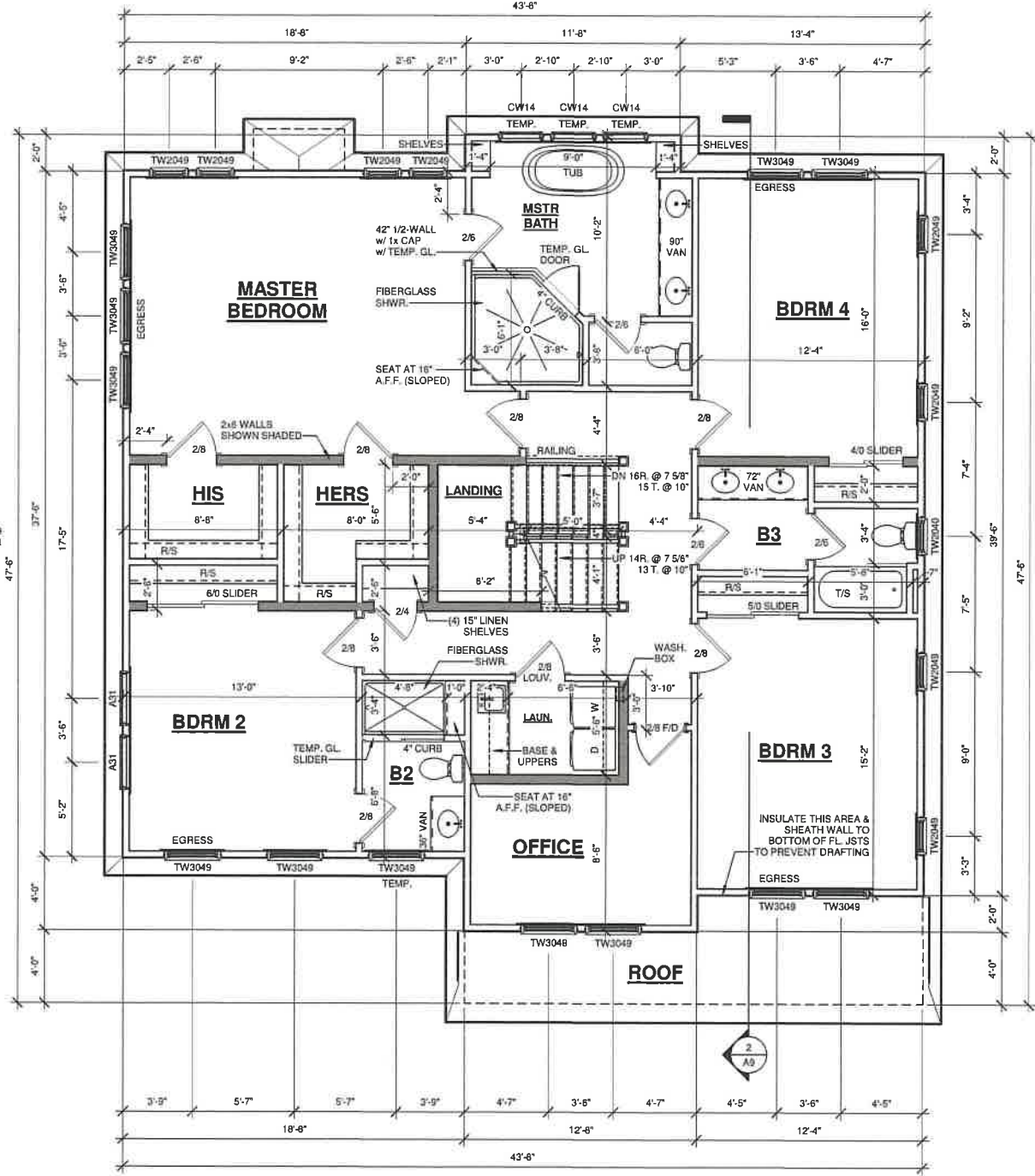
MODEL 1
 309 EUCLID AVE
 MANASQUAN, NJ



Sheet No.
A4
 Project No.
 Scale 1/4" = 1'-0"



② SECOND FLOOR ELECTRICAL
 1/4" = 1'-0"



① SECOND FLOOR PLAN
 1/4" = 1'-0"

- NOTES:**
- ALL WINDOW HEADERS HEIGHTS TO BE 6'-10 1/2"
 - ALL WINDOW HEADERS ARE TO BE (2) 2x10's U.N.O.
 - ANDERSEN 200 SERIES LOW-E TILT-WASH WINDOWS w/ 1 1/8" INTERIOR & EXTERIOR GRILLS w/ SPACER BAR (REFER TO ELEVATIONS FOR GRILL PATTERNS)
 - SECOND FLOOR DOORS TO BE 6'-8" TALL
 - TW3049 MEETS EGRESS REQUIREMENTS
 - 2x6 WALLS SHOWN SHADED

ELEC. LEGEND	
	WALL OUTLET
	220 VOLT WALL OUTLET
	DEDICATED WALL OUTLET
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	TELEPHONE JACK
	TELEVISION CONNECTION
	ELECTRICAL PANEL
	JUNCTION BOX
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CO DETECTOR
	RECESSED CAN LIGHT
	RECESSED EYEBALL LIGHT
	CEILING FAN

ELECTRICAL NOTES:

ALL SWITCHES TO BE 44" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.

ALL CONVENIENCE OUTLETS ARE TO BE 1'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.

ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (5'-10" AT BATHROOM MIRRORS)

ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.

SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL. BE WIRED TOGETHER TO SOUND ALARM AND HAVE U.L. RATED A.C. POWERED BATTERY BACKUP.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.

CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.

NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 6'-3" FROM A RECEPTACLE OUTLET.

ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.

GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.8.

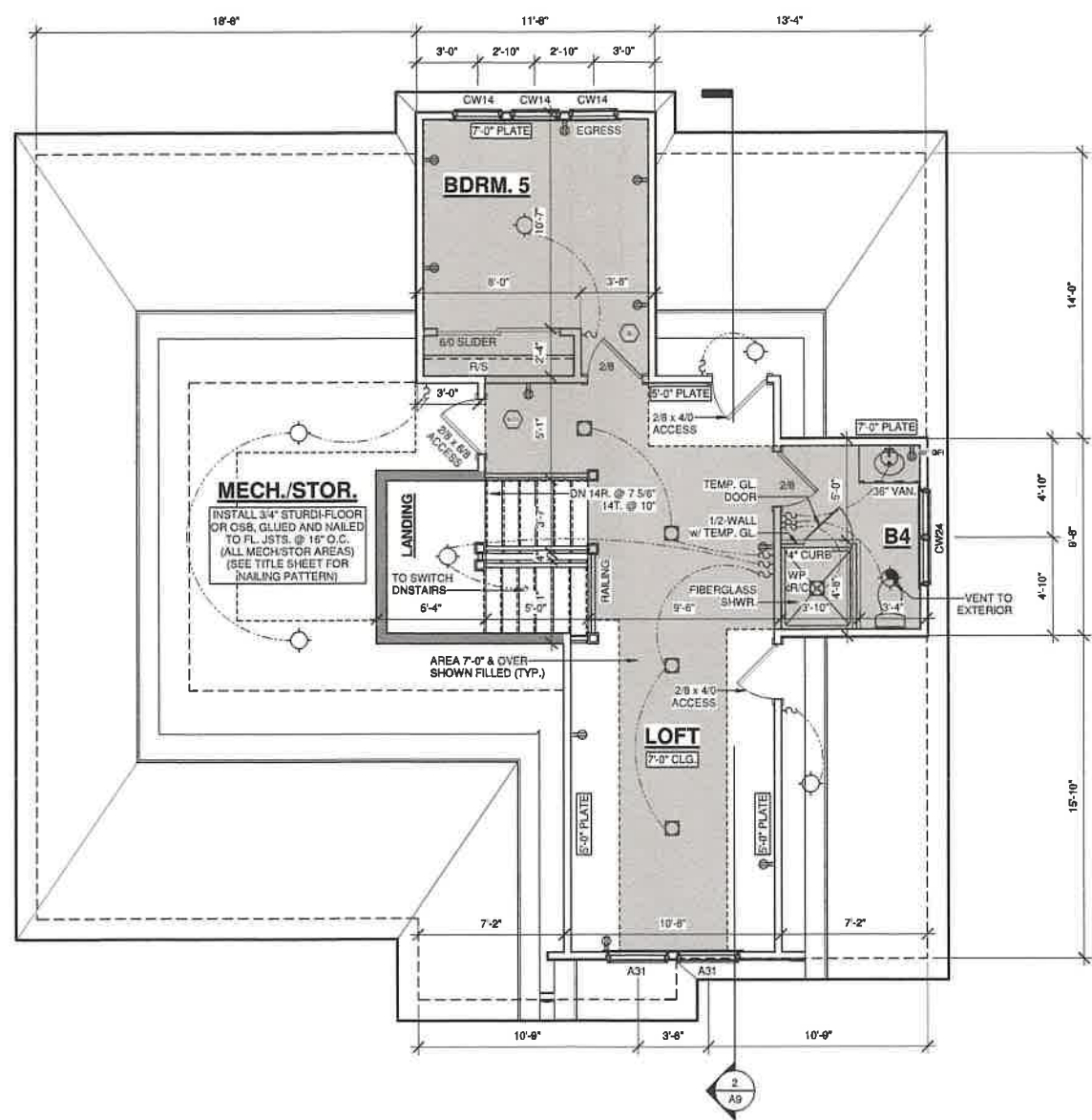
ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.

Managed By: P
 Drawn By: SF
 Checked By: PG
 Date: 12/04/2020
 Issue For Review:
 Issue For Permit: 12/04/2020
 Issue For Construction: 12/04/2020
 Revisions:

©2020 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.



MODEL 1
 309 EUCLID AVE
 MANASQUAN, NJ



ELEC. LEGEND	
⊕	WALL OUTLET
⊕ ₂₂₀	220 VOLT WALL OUTLET
⊕ _D	DEDICATED WALL OUTLET
⊕ _S	SWITCH
⊕ ₃	THREE WAY SWITCH
⊕ _L	WALL MOUNTED LIGHT FIXTURE
⊕ _{CLG}	CLG. MOUNTED LIGHT FIXTURE
⊕ _F	EXHAUST FAN
⊕ _{TJ}	TELEPHONE JACK
⊕ _{TV}	TELEVISION CONNECTION
⊕ _{EP}	ELECTRICAL PANEL
⊕ _{JB}	JUNCTION BOX
⊕ _T	THERMOSTAT
⊕ _{SD}	SMOKE DETECTOR
⊕ _{CO}	CARBON MONOXIDE DETECTOR
⊕ _{SMOKE/CO}	SMOKE/CO DETECTOR
⊕ _{RL}	RECESSED CAN LIGHT
⊕ _{EBL}	RECESSED EYEBALL LIGHT
⊕ _{CF}	CEILING FAN
⊕ _{WS}	WATER SPIGOT

ELECTRICAL NOTES:
 ALL SWITCHES TO BE 4" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
 ALL CONVENIENCE OUTLETS ARE TO BE 1'-0" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.
 ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 8'-0" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (8'-10" AT BATHROOM MIRRORS)
 ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 8'-0" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.
 SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL, BE WIRED TOGETHER TO SOUND ALARM AND HAVE U.L. RATED A.C. POWERED BATTERY BACKUP.
 VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.
 CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.
 NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.
 ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.
 GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.8.
 ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.

1 HALF-STORY PLAN/ ELECTRICAL
 1/4" = 1'-0"

- NOTES:**
- REFER TO ELEVATIONS FOR WINDOW HEADERS HGTS
 - ALL WINDOW HEADERS ARE TO BE (2) 2x10's U.N.O.
 - ANDERSEN 200 SERIES LOW-E TILT-WASH WINDOWS w/ 1 1/8" INTERIOR & EXTERIOR GRILLS w/ SPACER BAR (REFER TO ELEVATIONS FOR GRILL PATTERNS)
 - HALF-STORY DOORS TO BE 6'-8" TALL U.N.O.
 - CW14 MEETS EGRESS REQUIREMENTS
 - 7'-0" CLG. SHOWN SHADED
 - 2x6 WALLS SHOWN SHADED

HALF-STORY CALCS
 2nd Floor Total - 1,662 sq. ft.
 Half-Story 7'-0" & over - 405 sq. ft.
 Percentage - 24.37%
 (Under 33% meets code req.)

Sheet No.
A5
 Project No.
 Scale 1/4" = 1'-0"

Managed By: P
 Drawn By: SPT
 Checked By: PG
 Date: 12/04/2020
 Issue For Review:

Issue For Permit: 12/04/2020
 Issue For Construction: 12/04/2020

Revisions:

© 2020 Virtuoso Architecture, LLC
 This Document is the sole property
 and copyright of the Architect and
 shall not be used or reproduced in
 any form without authorization.



MODEL 1
 309 EUCLID AVE
 MANASQUAN, NJ



VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

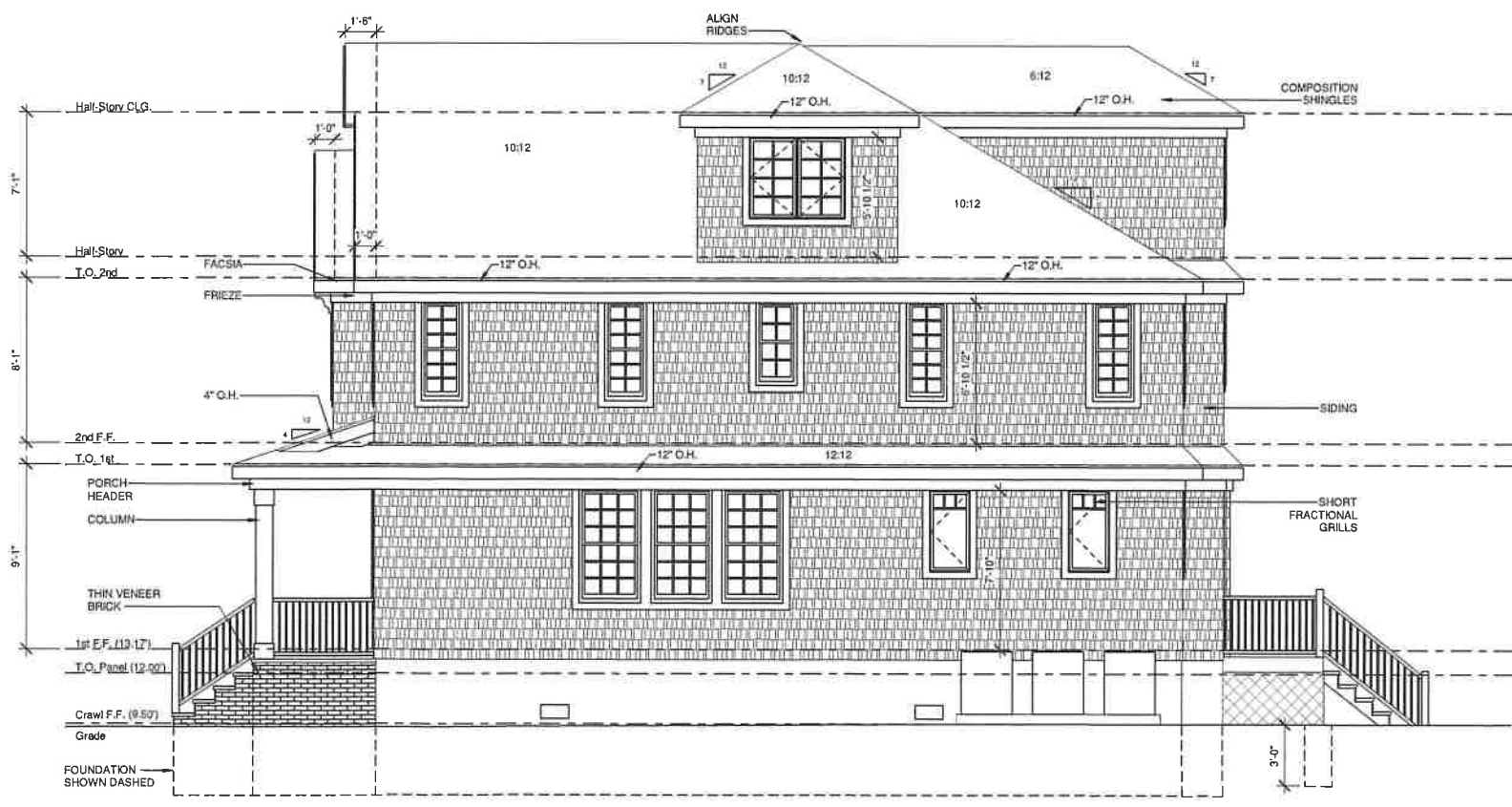
Sheet No.

A6

Project No.
 Scale 1/4" = 1'-0"



① FRONT ELEVATION
 1/4" = 1'-0"



② RIGHT ELEVATION
 1/4" = 1'-0"

NOTE: WINDOWS ABOVE 6'-0" COMPLY WITH SECTION R613.2.
 THE LOWEST PART OF CLEAR OPENINGS IS A MINIMUM OF 24"
 ABOVE FINISHED FLOOR. WINDOW HEADER HEIGHTS 6'-10 1/2"

1st FLOOR WINDOW HEADERS AT 7'-10" U.N.O.
 2nd FLOOR WINDOW HEADERS AT 6'-10 1/2" U.N.O.

EXTERIOR MATERIAL NOTES:

- SIDING - VINYL SHAKES
- RAKE (FRONT) - 1x2 ON 1x8 AZEK
- FASCIA (FRONT) - 1x8 AZEK
- SUBFASCIA (FRONT) - 1x8 AZEK ON 5/4" PACKOUT
- FRIEZE (FRONT) - 5/4" x 10" AZEK ON 5/4" PACKOUT
- RAKE (REAR & SIDES) - 1x2 ON 1x8 PVC COATED ALUMINUM WRAP
- FASCIA (REAR & SIDES) - 1x8 PVC COATED ALUMINUM WRAP
- SUBFASCIA (REAR & SIDES) - 1x8 PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
- FRIEZES (REAR & SIDES) - 5/4" x 10" PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
- CROWN HEADS (FRONT) - SEE DTL A10/03
- CROWN HEADS (REAR & SIDES) - CERTAINTED 2 1/4" x 2 1/4" (55804)
- WINDOW LINEALS (FRONT) - AZEK 3 1/2" (54706)
- WINDOW LINEALS (REAR & SIDES) - CERTAINTED 3 1/2" (54706)
- COLUMNS - AZEK 10"x10" COL. WRAP KIT ON P.T. 6x6 (BC6 POST CAP & BC60 POST BASE)
- PORCH HEADERS & FRIEZE - 1x10 OR 1x12 AZEK
- PORCH SOFFIT - BEADED
- FOUNDATION - ENGINEERED VENEER & PARGING PER ELEVATIONS (STONE/BRICK, COLOR TBD)

Managed By: PG
 Drawn By: SPT
 Checked By: PG
 Date: 12/04/2020
 Issue For Review:
 Issue For Permit: 12/04/2020
 Issue For Construction: 12/04/2020
 Revisions:

©2020 Virtuoso Architecture, LLC
 This Document is the sole property
 and copyright of the Architect and
 shall not be used or reproduced in
 any form without authorization.



MODEL 1
 309 EUDLID AVE
 MANASQUAN, NJ

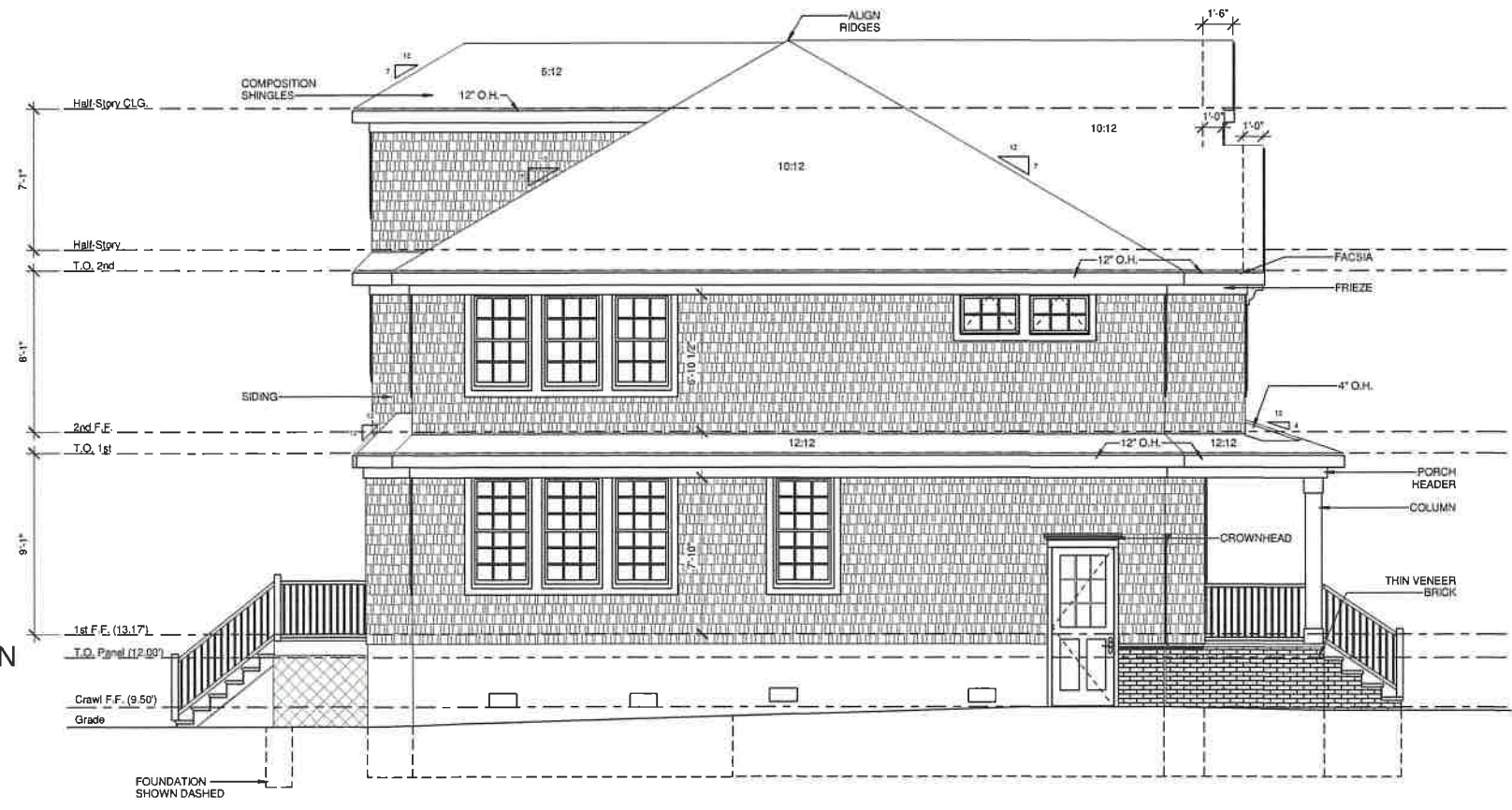
VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

Sheet No.
A7
 Project No.
 Scale 1/4" = 1'-0"

① REAR ELEVATION
 1/4" = 1'-0"



② LEFT ELEVATION
 1/4" = 1'-0"



NOTE: WINDOWS ABOVE 6'-0" COMPLY WITH SECTION R613.2.
 THE LOWEST PART OF CLEAR OPENINGS IS A MINIMUM OF 24"
 ABOVE FINISHED FLOOR. WINDOW HEADER HEIGHTS 6'-10 1/2"

1st FLOOR WINDOW HEADERS AT 7'-10" U.N.O.
 2nd FLOOR WINDOW HEADERS AT 6'-10 1/2" U.N.O.

- EXTERIOR MATERIAL NOTES:**
- **SIDING** - VINYL SHAKES
 - **RAKE (FRONT)** - 1x2 ON 1x8 AZEK
 - **FASCIA (FRONT)** - 1x8 AZEK
 - **SUBFASCIA (FRONT)** - 1x8 AZEK ON 5/4" PACKOUT
 - **FRIEZE (FRONT)** - 5/4" x 10" AZEK ON 5/4" PACKOUT
 - **RAKE (REAR & SIDES)** - 1x2 ON 1x8 PVC COATED ALUMINUM WRAP
 - **FASCIA (REAR & SIDES)** - 1x8 PVC COATED ALUMINUM WRAP
 - **SUBFASCIA (REAR & SIDES)** - 1x8 PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
 - **FRIEZES (REAR & SIDES)** - 5/4" x 10" PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
 - **CROWN HEADS (FRONT)** - SEE DTL A10/03
 - **CROWN HEADS (REAR & SIDES)** - CERTAINTEED 2 1/4" x 2 1/4" (55804)
 - **WINDOW LINEALS (FRONT)** - AZEK 3 1/2" (54706)
 - **WINDOW LINEALS (REAR & SIDES)** - CERTAINTEED 3 1/2" (54706)
 - **COLUMNS** - AZEK 10"x10" COL. WRAP KIT ON P.T. 6x6 (BC6 POST CAP & BC60 POST BASE)
 - **PORCH HEADERS & FRIEZE** - 1x10 OR 1x12 AZEK
 - **PORCH SOFFIT** - BEADED
 - **FOUNDATION** - ENGINEERED VENEER & PARGING PER ELEVATIONS (STONE/BRICK, COLOR TBD)

Managed By: PG
 Drawn By:
 Checked By: PG
 Date: 04/13/2021
 Issue For Review:
 Issue For Permit: 04/13/2021
 Issue For Construction: 04/13/2021
 Revisions:

©2021 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.



MODEL 2
 309 EUCLID AVE
 MANASQUAN, NJ

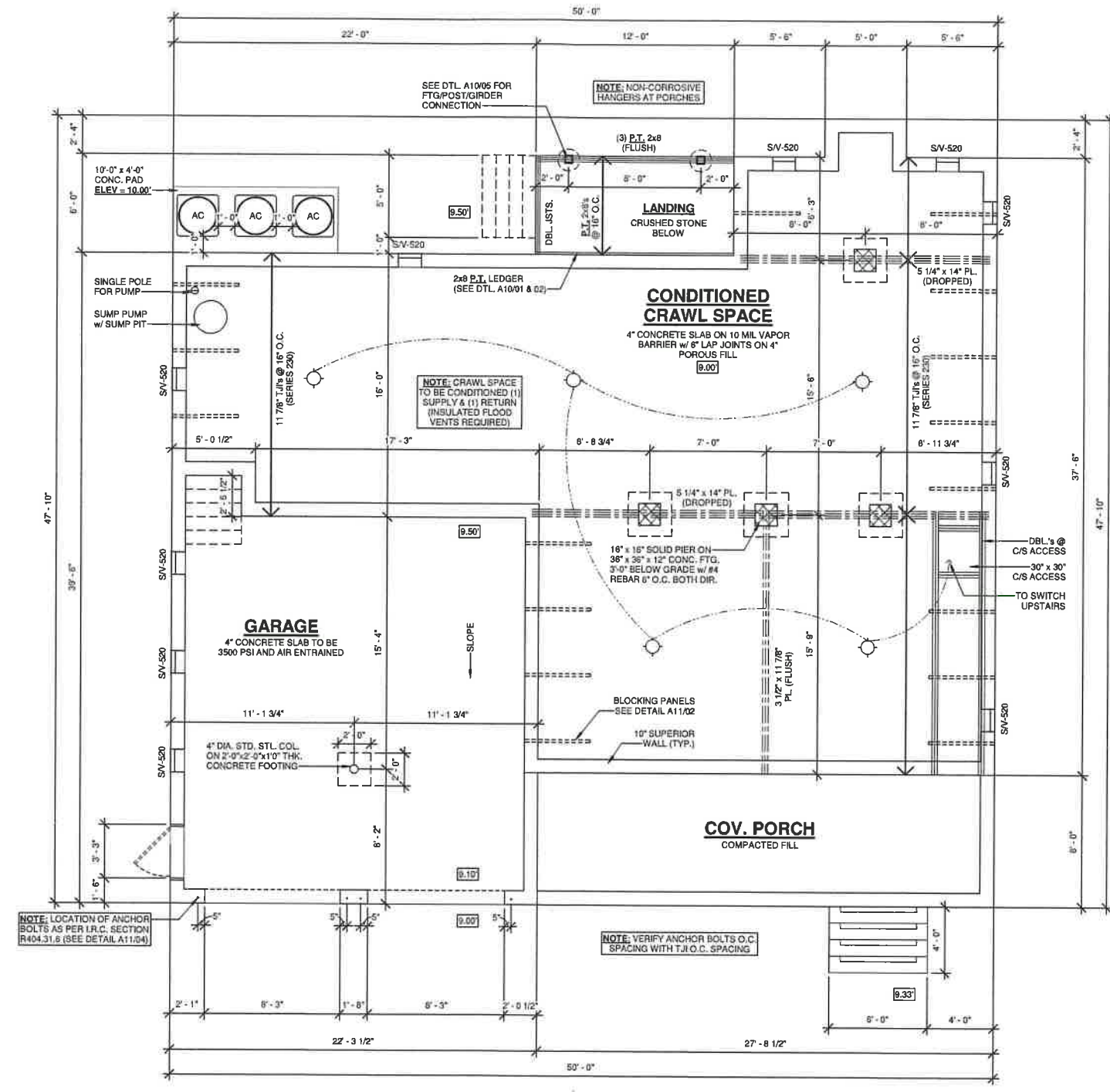


VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

Sheet No.
A2
 Project No.
 Scale As indicated

ELEC. LEGEND	
	WALL OUTLET
	220 VOLT WALL OUTLET
	DEDICATED WALL OUTLET
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	TELEPHONE JACK
	TELEVISION CONNECTION
	ELECTRICAL PANEL
	JUNCTION BOX
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CO DETECTOR
	RECESSED CAN LIGHT
	RECESSED EYEBALL LIGHT
	CEILING FAN
	WATER SPIGOT

ELECTRICAL NOTES:
 ALL SWITCHES TO BE 44" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
 ALL CONVENIENCE OUTLETS ARE TO BE 1'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.
 ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (6'-10" AT BATHROOM MIRRORS)
 ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.
 SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL, BE WIRED TOGETHER TO SOUND ALARM AND HAVE U.L. RATED A.C. POWERED BATTERY BACKUP.
 VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.
 CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.
 NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.
 ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.
 GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.8.
 ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.



1 FOUNDATION PLAN
 1/4" = 1'-0"

- NOTES:**
- FIRST FLOOR JOISTS: 11 7/8" TJI @ 16" O.C. U.N.O. (SERIES 230 U.N.O.)
 - BEAMS & GIRDERS TO HAVE 1/2" AIRSPACE AT CONCRETE WITH BEARING PLATE
 - FOUNDATION WALLS: 10" SUPERIOR WALLS (6'-0" PANELS)
 - CRAWL SPACE TO BE CONDITIONED (INSULATED VENTS REQUIRED)
 - PROVIDE (1) SUPPLY & (1) RETURN TO C/S

FLOOD VENTS PER R322.2.2		
GARAGE	520 sq. ft. / 200 sq. in.	3 SMART VENTS 1540-520 w/ LINTEL
CRAWL SPACE	1,340 sq. ft. / 200 sq. in.	7 INSULATED SMART VENTS 1540-520 w/ LINTEL
REQUIREMENTS	1,340 sq. ft. 1 SF / per 1500 SF	7 VENTS @ 50 sq. in. 350 sq. in. EXCEEDS CODE

Managed By: PG
 Drawn By: PG
 Checked By: PG
 Date: 04/13/2021
 Issue For Review:

Issue For Permit: 04/13/2021
 Issue For Construction: 04/13/2021
 Revisions:

©2021 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.

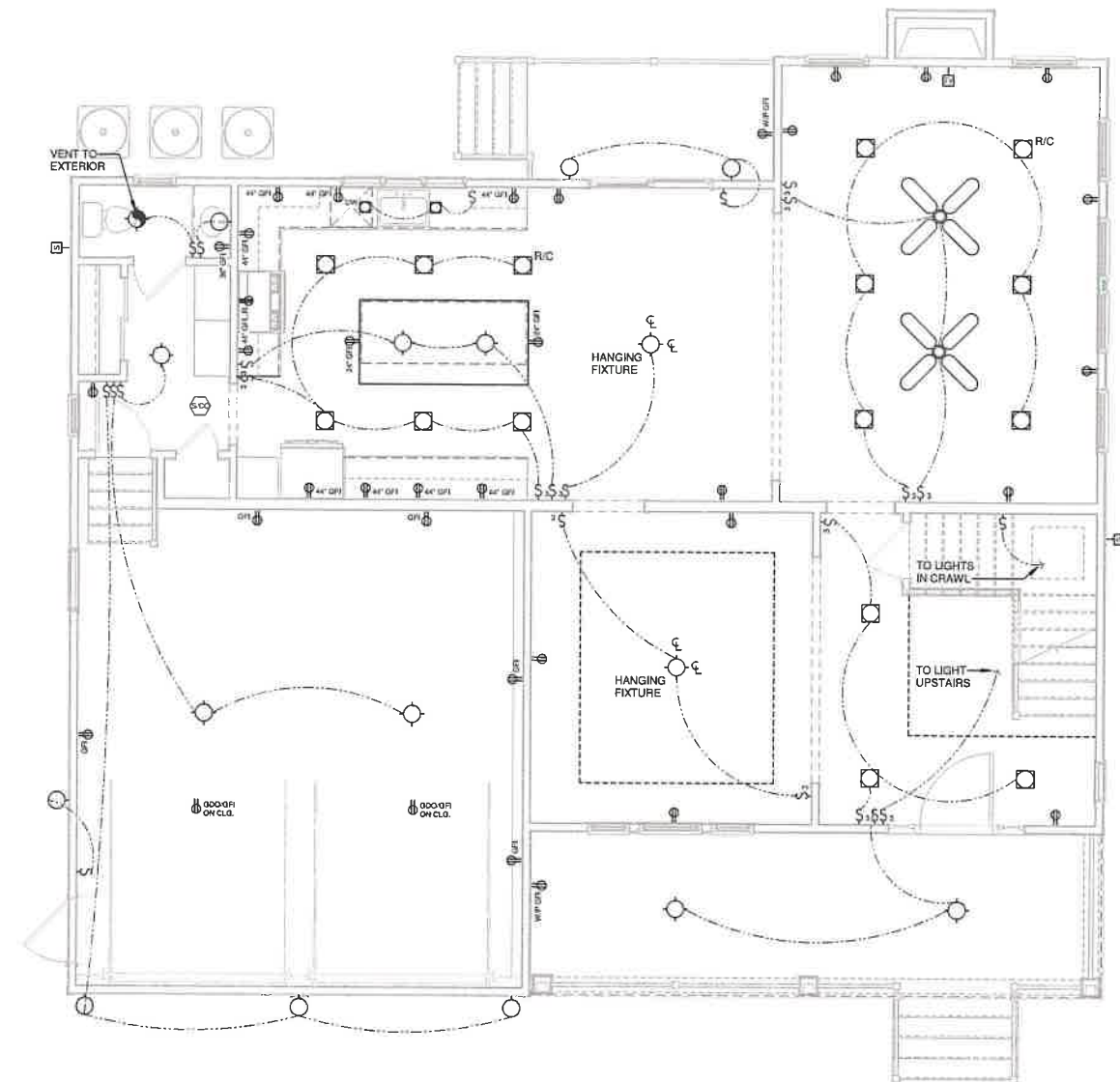
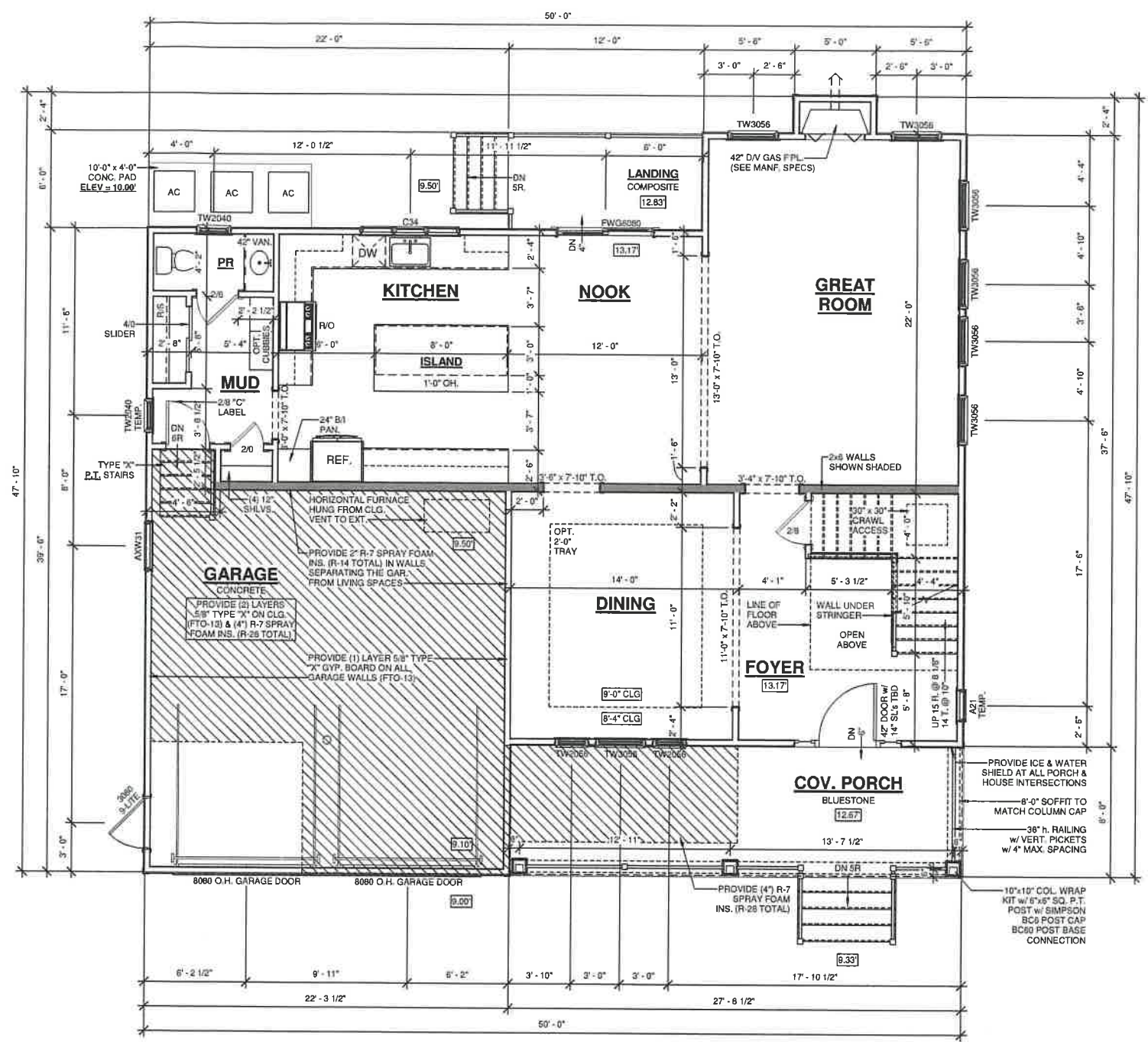


MODEL 2
 309 EUCLID AVE
 MANASQUAN, NJ



VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

Sheet No.
A3
 Project No.
 Scale As indicated



ELEC. LEGEND	
	WALL OUTLET
	220 VOLT WALL OUTLET
	DEDICATED WALL OUTLET
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	TELEPHONE JACK
	TELEVISION CONNECTION
	ELECTRICAL PANEL
	JUNCTION BOX
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CO DETECTOR
	RECESSED CAN LIGHT
	RECESSED EYEBALL LIGHT
	CEILING FAN
	WATER SPIGOT

ELECTRICAL NOTES:

ALL SWITCHES TO BE 44" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.

ALL CONVENIENCE OUTLETS ARE TO BE 1'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.

ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (6'-10" AT BATHROOM MIRRORS)

ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.

SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL, BE WIRED TOGETHER TO SOUND ALARM AND HAVE U.L. RATED A.C. POWERED BATTERY BACKUP.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.

CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.

NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 9'-0" FROM A RECEPTACLE OUTLET.

ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.

GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.6.

ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.

Managed By: PG
 Drawn By:
 Checked By: PG
 Date: 04/13/2021
 Issue For Review:
 Issue For Permit: 04/13/2021
 Issue For Construction: 04/13/2021
 Revisions:

©2021 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.

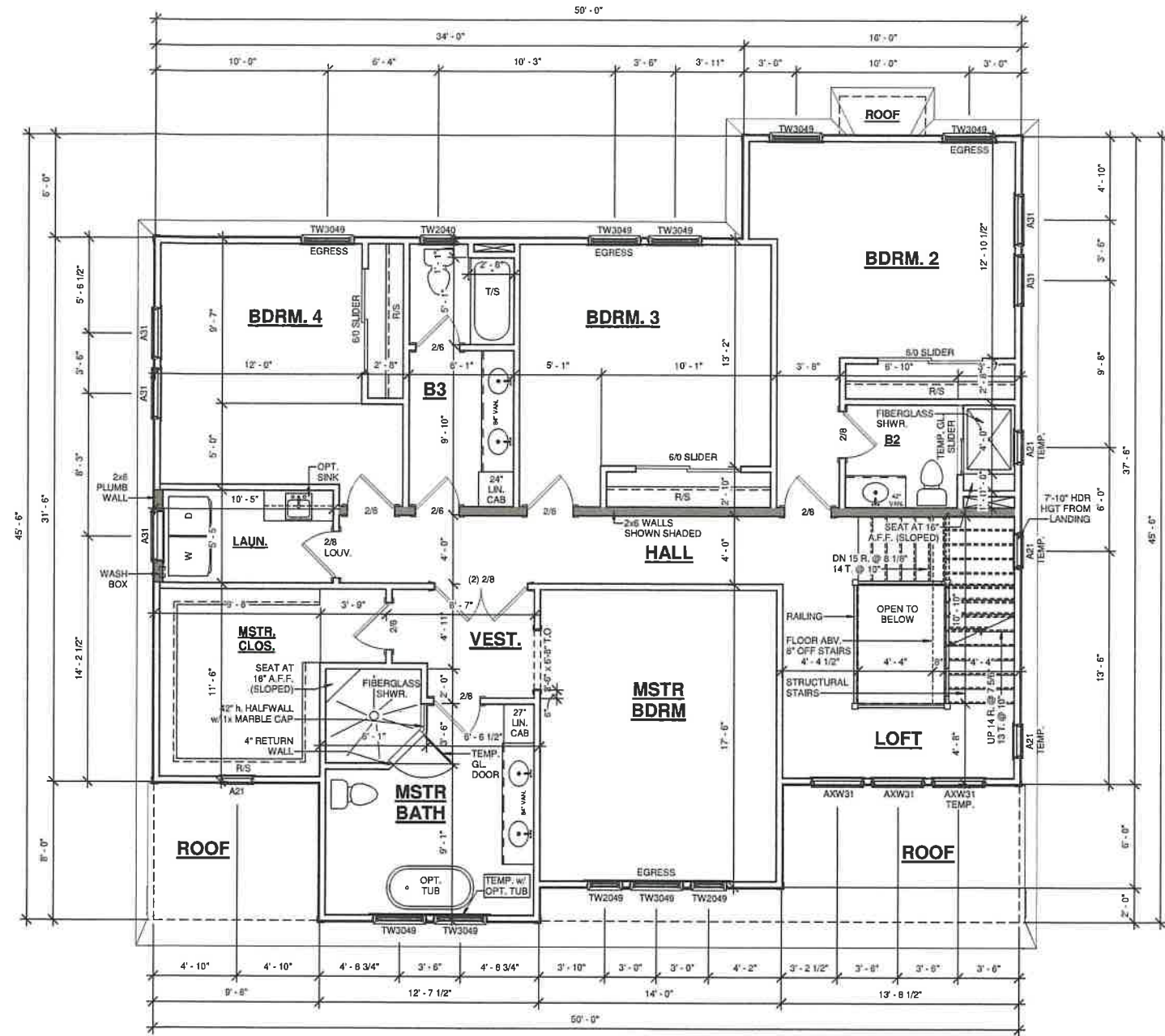


MODEL 2
 309 EUCLID AVE
 MANASQUAN, NJ



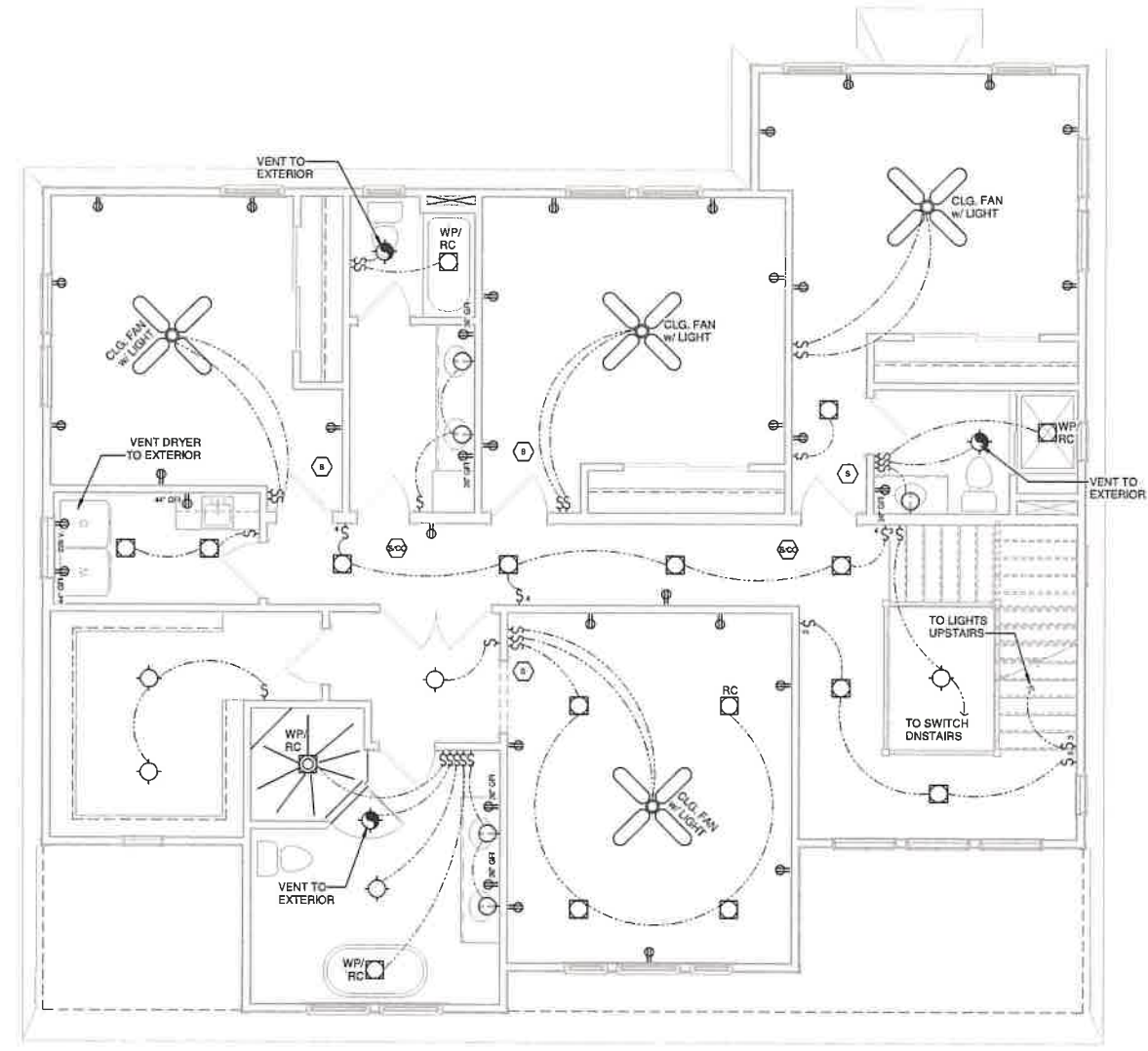
VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

Sheet No:
A4
 Project No:
 Scale: As indicated



① SECOND FLOOR PLAN
 1/4" = 1'-0"

- NOTES:**
- ALL WINDOW HEADERS HEIGHTS TO BE 6'-10 1/2"
 - ALL WINDOW HEADERS ARE TO BE (2) 2x10's U.N.O.
 - ANDERSEN 200 SERIES LOW-E TILT-WASH WINDOWS w/ 1 1/8" INTERIOR & EXTERIOR GRILLS w/ SPACER BAR (REFER TO ELEVATIONS FOR GRILL PATTERNS)
 - SECOND FLOOR DOORS TO BE 6'-8" TALL
 - TW3049 MEETS EGRESS REQUIREMENTS
 - 2x6 WALLS SHOWN SHADED



② SECOND FLOOR ELECTRICAL
 1/4" = 1'-0"

ELEC. LEGEND	
	WALL OUTLET
	220 VOLT WALL OUTLET
	DEDICATED WALL OUTLET
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	TELEPHONE JACK
	TELEVISION CONNECTION
	ELECTRICAL PANEL
	JUNCTION BOX
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CO DETECTOR
	RECESSED CAN LIGHT
	RECESSED EYEBALL LIGHT
	CEILING FAN
	WATER SPIGOT

ELECTRICAL NOTES:

ALL SWITCHES TO BE 44" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.

ALL CONVENIENCE OUTLETS ARE TO BE 1'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.

ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (6'-10" AT BATHROOM MIRRORS)

ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.

SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL, BE WIRED TOGETHER TO SOUND ALARM AND HAVE U.L. RATED A.C. POWERED BATTERY BACKUP.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.

CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.

NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.

GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.8.

ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.

Managed By: PG
 Drawn By:
 Checked By: PG
 Date: 04/13/2021
 Issue For Review:
 Issue For Permit: 04/13/2021
 Issue For Construction: 04/13/2021
 Revisions:

©2021 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.

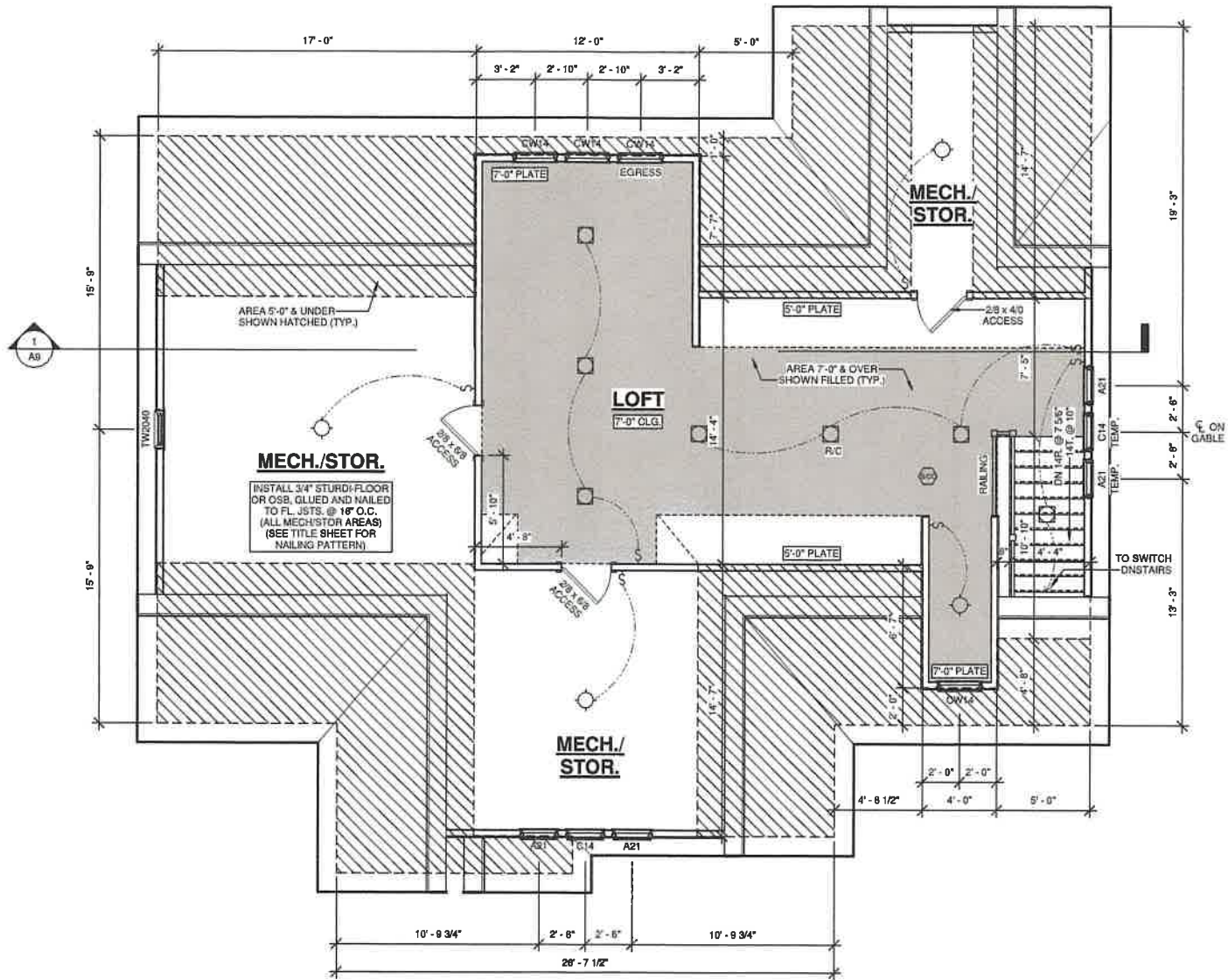


MODEL 2
 309 EUCLID AVE
 MANASQUAN, NJ



VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Olin, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

Sheet No.
A5
 Project No.
 Scale As Indicated



1 HALF-STORY PLAN
 1/4" = 1'-0"

- NOTES:**
- REFER TO ELEVATIONS FOR WINDOW HEADERS HGTS
 - ALL WINDOW HEADERS ARE TO BE (2) 2x10's U.N.O.
 - ANDERSEN 200 SERIES LOW-E TILT-WASH WINDOWS w/ 1 1/8" INTERIOR & EXTERIOR GRILLS w/ SPACER BAR (REFER TO ELEVATIONS FOR GRILL PATTERNS)
 - HALF-STORY DOORS TO BE 6'-8" TALL U.N.O.
 - CW14 MEETS EGRESS REQUIREMENTS
 - 7'-0" CLG. SHOWN SHADED
 - 2x6 WALLS SHOWN SHADED

ELEC. LEGEND	
	WALL OUTLET
	220 VOLT WALL OUTLET
	DEDICATED WALL OUTLET
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CLG. MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	TELEPHONE JACK
	TELEVISION CONNECTION
	ELECTRICAL PANEL
	JUNCTION BOX
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SMOKE/CO DETECTOR
	RECESSED CAN LIGHT
	RECESSED EYEBALL LIGHT
	CEILING FAN
	WATER SPIGOT

ELECTRICAL NOTES:

ALL SWITCHES TO BE 44" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.

ALL CONVENIENCE OUTLETS ARE TO BE 1'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.

ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE. (6'-10" AT BATHROOM MIRRORS)

ALL EXTERIOR WALL BRACKET FIXTURES TO BE AT 6'-8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.

SMOKE DETECTORS SHALL BE LOCATED 12" FROM WALL, BE WIRED TOGETHER TO SOUND ALARM AND HAVE U.L. RATED A.C. POWERED BATTERY BACKUP.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.

CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER.

NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

ALL BATHROOM GFI OUTLETS TO BE DEDICATED TO (1) 20 AMP BREAKER.

GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOM AND KITCHEN OUTLETS AS PER 2017 NEC SECTION 210.8.

ALL OUTLETS NOT REQUIRED TO BE GFCI SHALL BE ARC FAULT PROTECTED AS PER 2017 NEC SECTION 210.12.

HALF-STORY CALCS

2nd Floor Total - 1,755 sq. ft.
 Half-Story 7'-0" & over - 433 sq. ft.
 Percentage - 24.67%
 (Under 33% meets code req.)

2nd Floor Total - 1,755 sq. ft.
 Half-Story 5'-0" & Over - 569 sq. ft.
 Percentage - 32.42%
 (Under 60% meets zoning req.)

Managed By: PG
 Drawn By:
 Checked By: PG
 Date: 04/13/2021
 Issue For Review:
 Issue For Permit: 04/13/2021
 Issue For Construction: 04/13/2021
 Revisions:

©2021 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.



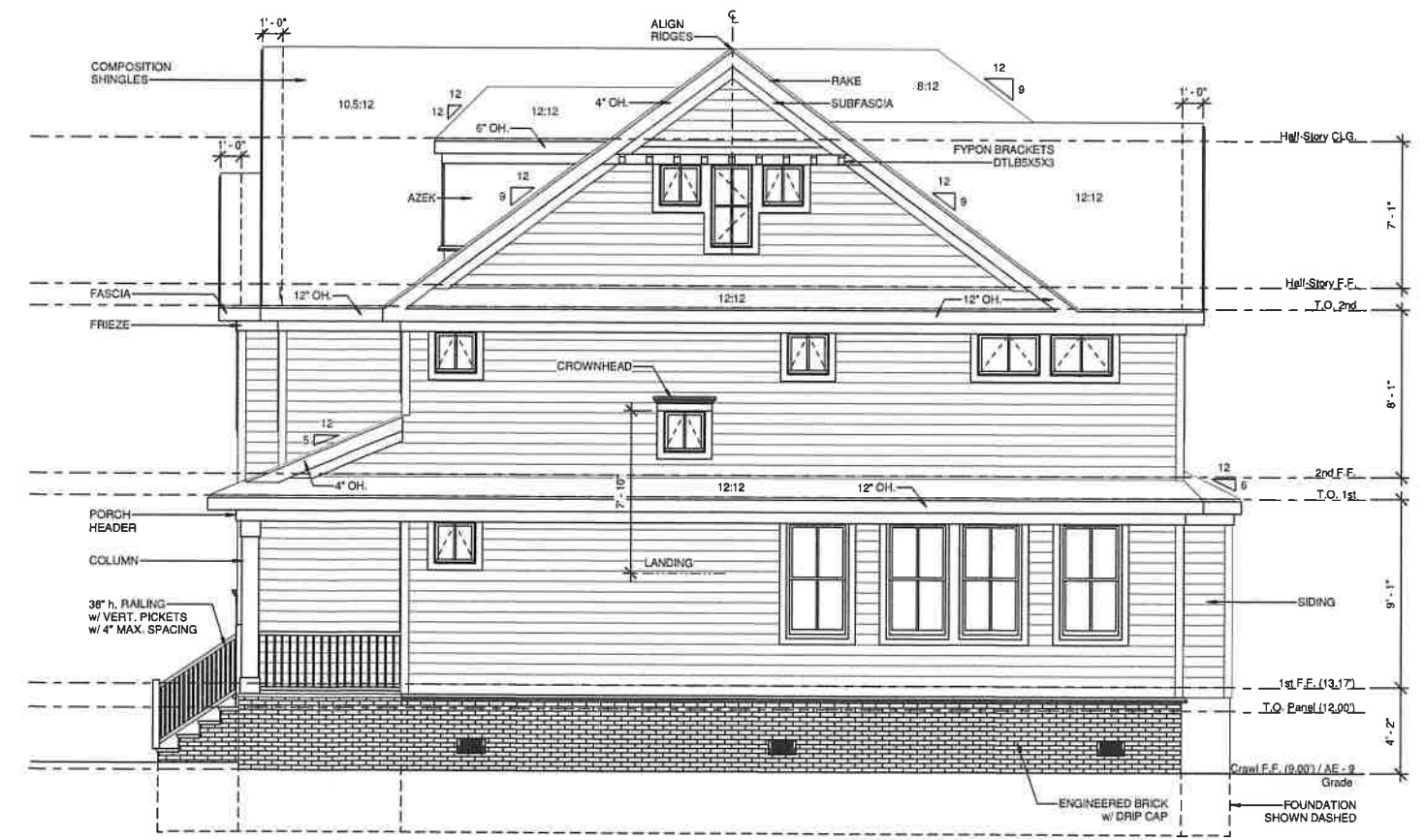
MODEL 2
 309 EUCLID AVE
 MANASQUAN, NJ



Sheet No.
A6
 Project No.
 Scale 1/4" = 1'-0"



① FRONT ELEVATION
 1/4" = 1'-0"



② RIGHT ELEVATION
 1/4" = 1'-0"

NOTE: WINDOWS ABOVE 6'-0" COMPLY WITH SECTION R613.2. THE LOWEST PART OF CLEAR OPENINGS IS A MINIMUM OF 24" ABOVE FINISHED FLOOR. WINDOW HEADER HEIGHTS 6'-10 1/2"

1st FLOOR WINDOW HEADERS AT 7'-10" U.N.O.
 2nd FLOOR WINDOW HEADERS AT 6'-10 1/2" U.N.O.

EXTERIOR MATERIAL NOTES:

- **SIDING** - SIDING w/ CORNER BOARDS TBD
- **RAKE (FRONT & RIGHT)** - 1x2 ON 1x8 AZEK
- **FASCIA (FRONT & RIGHT)** - 1x8 AZEK
- **SUBFASCIA (FRONT & RIGHT)** - 1x8 AZEK ON 5/4" PACKOUT
- **FRIEZE (FRONT & RIGHT)** - 5/4" x 10" AZEK ON 5/4" PACKOUT
- **RAKE (REAR & LEFT)** - 1x2 ON 1x8 PVC COATED ALUMINUM WRAP
- **FASCIA (REAR & LEFT)** - 1x8 PVC COATED ALUMINUM WRAP
- **SUBFASCIA (REAR & LEFT)** - 1x8 PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
- **FRIEZES (REAR & LEFT)** - 5/4" x 10" PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
- **CROWN HEADS (FRONT & RIGHT)** - SEE DTL A10/03
- **CROWN HEADS (REAR & LEFT)** - CERTAINTED 2 1/4" x 2 1/4" (55804)
- **WINDOW LINEALS (FRONT & RIGHT)** - AZEK 3 1/2"
- **WINDOW LINEALS (REAR & LEFT)** - CERTAINTED 3 1/2" (54706)
- **COLUMNS** - AZEK 10"x10" COL. WRAP KIT ON P.T. 6x6 (BC6 POST CAP & BC60 POST BASE)
- **PORCH HEADERS & FRIEZE** - 1x10 OR 1x12 AZEK
- **PORCH SOFFIT** - BEADED
- **FOUNDATION** - ENGINEERED VENEER & PARGING PER ELEVATIONS (STONE/BRICK, COLOR TBD)

Managed By: PG
 Drawn By:
 Checked By: PG
 Date: 04/13/2021
 Issue For Review:
 Issue For Permit: 04/13/2021
 Issue For Construction: 04/13/2021
 Revisions:

© 2021 Virtuoso Architecture, LLC
 This Document is the sole property and copyright of the Architect and shall not be used or reproduced in any form without authorization.



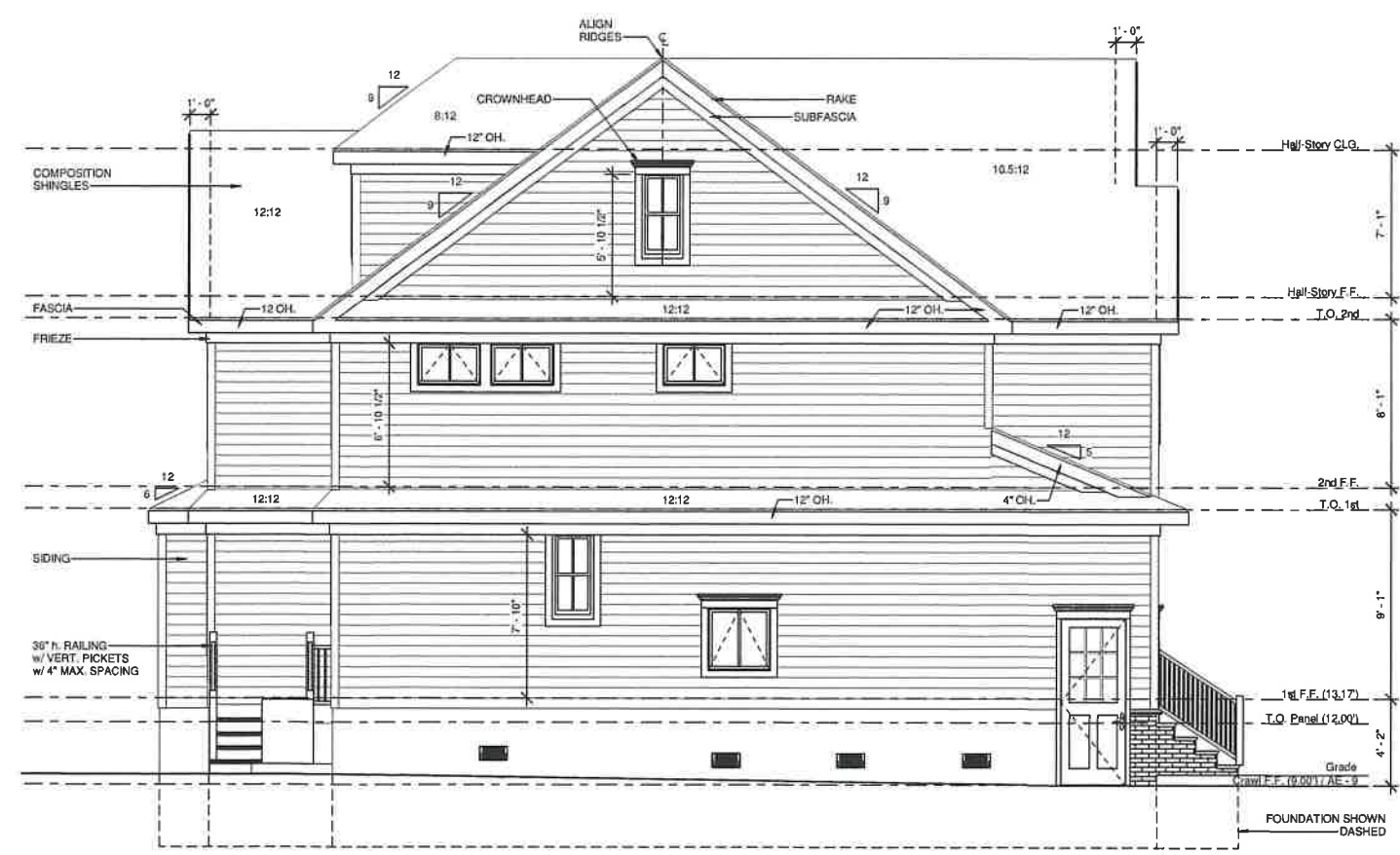
MODEL 2
 309 EUCLID AVE
 MANASQUAN, NJ

VIRTUOSO
 ARCHITECTURE
 Paul Grabowski
 Registered Architect
 1330 Laurel Avenue
 Building #3, Suite 304
 Sea Girt, New Jersey 08750
 732.612.3125
 Paul@VirtuosoArchitecture.com
 VirtuosoArchitecture.com

Sheet No.
A7
 Project No.
 Scale 1/4" = 1'-0"



① REAR ELEVATION
 1/4" = 1'-0"



② LEFT ELEVATION
 1/4" = 1'-0"

NOTE: WINDOWS ABOVE 6'-0" COMPLY WITH SECTION R613.2. THE LOWEST PART OF CLEAR OPENINGS IS A MINIMUM OF 24" ABOVE FINISHED FLOOR. WINDOW HEADER HEIGHTS 6'-10 1/2".

1st FLOOR WINDOW HEADERS AT 7'-10" U.N.O.
 2nd FLOOR WINDOW HEADERS AT 6'-10 1/2" U.N.O.

EXTERIOR MATERIAL NOTES:

- **SIDING** - SIDING w/ CORNER BOARDS TBD
- **RAKE (FRONT & RIGHT)** - 1x2 ON 1x8 AZEK
- **FASCIA (FRONT & RIGHT)** - 1x8 AZEK
- **SUBFASCIA (FRONT & RIGHT)** - 1x8 AZEK ON 5/4" PACKOUT
- **FRIEZE (FRONT & RIGHT)** - 5/4" x 10" AZEK ON 5/4" PACKOUT
- **RAKE (REAR & LEFT)** - 1x2 ON 1x8 PVC COATED ALUMINUM WRAP
- **FASCIA (REAR & LEFT)** - 1x8 PVC COATED ALUMINUM WRAP
- **SUBFASCIA (REAR & LEFT)** - 1x8 PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
- **FRIEZES (REAR & LEFT)** - 5/4" x 10" PVC COATED ALUMINUM WRAP ON 5/4" PACKOUT
- **CROWN HEADS (FRONT & RIGHT)** - SEE DTL A10/03
- **CROWN HEADS (REAR & LEFT)** - CERTAINTEED 2 1/4" x 2 1/4" (55804)
- **WINDOW LINEALS (FRONT & RIGHT)** - AZEK 3 1/2"
- **WINDOW LINEALS (REAR & LEFT)** - CERTAINTEED 3 1/2" (54706)
- **COLUMNS** - AZEK 10"x10" COL. WRAP KIT ON P.T. 6x6 (BC6 POST CAP & BC80 POST BASE)
- **PORCH HEADERS & FRIEZE** - 1x10 OR 1x12 AZEK
- **PORCH SOFFIT** - BEADED
- **FOUNDATION** - ENGINEERED VENEER & PARGING PER ELEVATIONS (STONE/BRICK, COLOR TBD)

B.O.M. RECEIVED
MSG CLERK
NOV 15 2021
DPW PD CONST OTHER

November 12, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1750
Use Variance – MJN, LLC
Block 35, Lot 19
25 Broad Street
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Topographic Survey prepared by Jay Pierson, PLS, of East Coast Engineering, Inc., dated August 23, 2021.
2. Architectural Floorplans and Elevations prepared by Atlantic Modular Builders dated October 7, 2021.
3. Plot Plan prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, LLC, dated September 2, 2021.

The property is located in the R-2 Single-Family Residential Zone with frontage on Broad Street. With this application, the applicant proposes to construct a two and one-half story, two unit, multi-family dwelling and associated site improvements. This application is deemed complete as of November 12, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone.
2. The following use ('d') variance is required as part of this application:
 - a. Only one single family residential dwelling per lot is permitted, whereas a multi-family, two unit dwelling use is proposed.
3. The following bulk ('c') variances are required as part of this application:

Re: Boro File No. MSPB-R1750
Variance – MJN, LLC
Block 35, Lot 19

November 12, 2021
Sheet 2

- a. A maximum building coverage of 30% is permitted, whereas a building coverage of 31.23% is proposed.
 - b. A maximum lot coverage of 45% is permitted, whereas a lot coverage of 68.27% is proposed.
 - c. Four parking spaces are required for the two dwelling units, whereas three parking spaces are proposed.
 - d. An outdoor living space of 80 square feet is required for each unit, whereas a front porch of approximately 90 square feet is proposed for both units.
4. The following non-conformities exist on Lot 19, however variances were previously granted for these conditions, and they are not proposed to be modified as part of this application:
- a. An accessory side yard setback 5 feet is required, whereas a setback of 3 feet exists.
 - b. An accessory rear yard setback 5 feet is required, whereas a setback of 3 feet exists.
 - c. A maximum accessory building area of 100 square feet is permitted, whereas an accessory building of 454 square feet exists.
5. The proposed front yard setback is 14 feet where 25 feet is normally required, however the applicant has provided front yard averaging calculations which demonstrate the average setback is 13.5 feet.
6. The air conditioning units are proposed to be located along the north side of the dwelling but outside of the required side yard setback.
7. The applicant is providing the required 80 square feet of storage space for each unit in the basement level and rear storage area.
8. A walkway from the rear parking area to the front door appears warranted as there are no rear doors to the units. As there is already a variance required for lot coverage, any walkway must be shown on the plan and included in the lot coverage calculations if it will be impervious.
9. A drainage recharge system in accordance with the Borough's stormwater ordinance is required. The system should be shown on the plan and details and calculations provided.
10. Construction details for the proposed asphalt parking area, pavers and any other site improvements should be provided on the plans.



Re: Boro File No. MSPB-R1750
Variance – MJN, LLC
Block 35, Lot 19

November 12, 2021
Sheet 3

11. A landscaping plan for the property must be provided. It appears that no trees will be removed as part of this application.
12. Any new utilities should be located underground if possible.
13. The two new dwellings will need to be serviced by separate water and sewer lines, the locations of which must be shown on the plans.
14. Any curb and sidewalk must be replaced along Broad Street as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Joseph Kociuba, PE, PP
KBA Engineering Services, 2517 Route 35, Bldg E, Suite 203, Manasquan, NJ 08736
MJN, LLC c/o Joe Bossone
75 Taylor Avenue, Manasquan, NJ 08736

APPLICATION TO THE PLANNING BOARD

Applicant's Name MSN LLC Co Joe Bossone

Applicant's Address 75 Taylor Ave MANASQUAN NJ

Telephone Number 732 528 8514
(Home and Cell)

Property Location 25 Broad St.
Block: 35 Lot 19

Type of Application _____
Bulk Variance, Non-Permitted Use – Conditional Use – Subdivision – Minor
Subdivision – Major – Site Plan Approval

Date of Zoning Officer's Denial Letter 10/20/21
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? Yes

Does the Applicant own any adjoining land? Yes

Are the property Taxes paid to date? Yes

Have there been any previous applications to the Planning Board concerning this property? Yes
(Attach copies) See Attached

Have there been any previous applications to the Planning Board. If there were please attach copies.

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach _____

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent *[Handwritten Signature]*
Date 10/28/21

RESOLUTION NO. 13 – 2020
Cal No.

RESOLUTION OF THE PLANNING BOARD OF THE
BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY

WHEREAS, Joseph Bossone (hereinafter referred to as the "applicant") has applied to the Planning Board of the Borough of Manasquan for variance relief pursuant to N.J.S.A. 40:55D-70(c and d) from the provisions of the Manasquan Zoning Ordinances to construct a new garage at property located at 25 Broad Street, Manasquan, New Jersey, and known as Block 35, Lot 19 on the Manasquan Tax Map, and,

WHEREAS, a public hearing was held at the regularly scheduled meeting of the Planning Board on March 3, 2020, in the Municipal Building, and testimony having been presented on behalf of the applicant and objectors to the application having been given an opportunity to be heard; and,

WHEREAS, such proof of service as may be required by New Jersey Statutes and Municipal Ordinances has been furnished; and,

WHEREAS, the Board, having considered the application, testimony, and exhibits submitted, makes the following findings:

1. The property is located in an R-2 Zone.
2. The property is rectangular in shape having 50 feet of frontage on Broad Street, 125 feet of depth and 6,250 square feet in total area. The rear of the property is occupied by an asphalt driveway, parking area and a garage. The dwelling structure on the property is composed of two separate units and therefore is nonconforming. The applicant is seeking to expand the garage in the rear and while no changes are proposed to the two-unit dwelling structure the changes to the garage structure represent an intensification and therefore an expansion of the nonconforming nature of the property. The applicant is proposing to demolish the existing garage structure and to construct a new larger structure in the general location of the existing garage structure. In support of his application, the applicant provided the structural drawings of PPB, Inc. dated April 12, 2019, a photograph representing the appearance of the proposed new structure and the Plan of Survey prepared by Robert M. Ragan, P.L.S., dated April 25, 2019. These documents more fully describe the applicant's proposal and were submitted to and relied upon by the Board in its deliberations regarding this application.
3. C. Keith Henderson, Esq., appeared on behalf of the applicant. The applicant was in attendance and presented testimony on his own behalf. No persons from the public rose in opposition to the proposal. The application was duly noticed as required by law.
4. Upon review of the application by the Board Engineer, and upon hearing his comments and receiving his report, the Board determined that the applicant's proposal required the following variance relief:

- A. A variance to expand a nonconforming use pursuant to N.J.S.A. 40:55D-70 (d.2)
- B. Minimum rear yard setback for the proposed garage where 5 feet is required, and 3 feet is proposed.
- C. Minimum side yard setback for the proposed garage where 5 feet is required, and 3 feet is proposed.
- D. Maximum lot coverage where 45% is permitted and 76.6 % is proposed.

5. The Board finds that the variance relief may be approved and granted as conditioned herein. This application involves a property upon which a two-unit dwelling structure and a garage is located, and the request is for the replacement and expansion of the garage structure solely. The two-unit dwelling structure is not directly implicated in the application and no work is proposed to enlarge the dwellings. The property is part and parcel, literally, of a unique, shared-use parking scheme enjoyed by several properties in the area which generally contain business uses. The applicant demonstrated at the hearing of this matter that the access to the rear of the subject property is by way of an access easement that meanders across several commercial properties providing access to various parking areas which is shared by the commercial properties and the public in general. The applicant testified that he, through a limited liability company in which he is a principal member known as MJN LLC, is responsible for the maintenance and repair of the easement including snow removal. The applicant stated that the expansion of the garage in the rear of the property in question would assist in the maintenance of the easement including the housing of snow removal equipment. The Board finds that the property is uniquely situated in that it borders upon a parking area and access easement. The rear of the property essentially opens into a commercial parking lot. The environment in the rear of the property is of a distinct commercial flavor. The Board finds that the placement of the proposed structure will not look out of place in the above-described environment. The Board finds that the proposed garage will serve the beneficial purpose of allowing the applicant to service the access easement which is a benefit to the public. The Board finds that the setbacks proposed are a continuation of the existing setbacks of the existing structure and the expansion of same will not substantially impair the air, light and open space of the neighbor, nor will it impair any significant sightlines. The Board notes that the rear yard of the property is substantially covered with asphalt. The addition of a larger garage will not significantly impact the aesthetics of the property or create further impervious coverage. The Board finds therefore that the expansion will not further impair the zone plan or constitute a substantial detriment to the public good. The Board finds that, on balance, the benefits of allowing the expansion outweigh the detriments and, under the circumstances described, the Board finds that sufficient special reasons exist to allow the expansion. The Board finds therefore that the applicant has demonstrated that significant benefits may be obtained for the public by the granting of the relief requested which benefits outweigh any detriments and as such sufficient special reasons exist to

grant an expansion of this nonconforming use, and associated bulk variances, pursuant to N.J.S.A. 40:55D-70 (d.2) and N.J.S.A. 40:55D-70 (c.2) respectively. The Board finding also that the applicant has adequately addressed and satisfied the negative criteria for the reasons stated above, the Board finds that the variance relief may be granted accordingly.

6. During the discussion of the easement and how said easement services the various properties, the applicant was asked to add the Borough of Manasquan as a grantee on said access easement and to have said amended easement duly recorded. The applicant consented and stipulated to do so and said stipulation is made a condition of this approval.

7. For the reasons stated above, the Board finds that the application as proposed is in keeping with sound planning and zoning and does not present substantial detriment to the public good nor does it substantially impair the intent and purpose of the zoning plan. The Board further finds that the variance relief may be granted because the benefits to be gained by the community and the zone plan substantially outweigh any detriments and that special reasons exist.

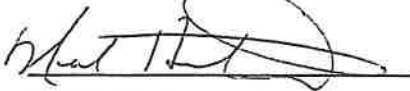
WHEREAS, The Board has determined that the relief requested by the applicant can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Master Plan and Zoning Ordinances of the Borough of Manasquan and that the benefits of this application do substantially outweigh the detriments, and that special reasons exist,

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Manasquan on this 21st day of April, 2020, that the application for variance relief shall be and is hereby granted as stated herein subject to the following conditions:

1. All construction shall be made in compliance with the plans presented, all conditions made hereto whether found herein or made upon the record, and all stipulations made by the applicant as memorialized herein, and if not so memorialized, as made upon the record.
2. That all existing taxes, water and sewer assessments and other municipal fees shall be paid current prior to the issuance of a certificate of occupancy.
3. That all construction be completed in accordance with Borough Ordinances, the Building Codes, and all other state, federal and local regulations.
4. That all professional fees including all legal fees and engineering fees, and all inspection fees, or performance bonds set by the Board Engineer, shall be paid by the applicant prior to the issuance of a building permit.
5. That the applicant shall conform his plans to the recommendations of Board Engineer as found in his report of February 25, 2020.
6. That the applicant shall take the necessary action to add the Borough of Manasquan as a grantee on the access easement providing access to the rear of the subject property which addition shall be duly recorded with the Monmouth County Clerk.

in a form acceptable to the Board Attorney.

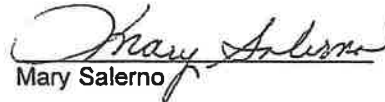
BE IT FURTHER RESOLVED that a copy of this resolution be immediately provided by the Planning Board Secretary to the Zoning Officer, to the Construction Official, to the Planning Board's Professional Engineer, to the Tax Office, to the Water and Sewer Departments and to the Department of Public Works, in order that said officials and departments may appropriately note their records with respect to the development approval herein granted.



Neil Hamilton,
Chairman of the Planning Board
of the Borough of Manasquan

CERTIFICATION

I, Mary Salerno, Secretary of the Planning Board of the Borough of Manasquan, in the County of Monmouth, State of New Jersey, do hereby CERTIFY that the foregoing is a true copy of a resolution adopted by the Planning Board at its regular meeting held on April 21, 2020


Mary Salerno

Resolution Prepared by:
George D. McGill, Esq.
Attorney to the Planning Board
Of the Borough of Manasquan

RESOLUTION NO. 13 - 2020
Joseph Bossone

The Vote on the Motion made by

Kevin Thompson
on March 3, 2020 to approve
this application was as follows:

MEMBER	YES	NO	ABSTAIN	ABSENT
Mayor Edward Donovan				X
Councilman Michael Mangan				
Neil B. Hamilton	X			
Kevin Thompson	X			
Robert Young				X
Greg Love	X			
John Muly				X
Barbara Ilaria				X
Mark Apostolou	X			
Leonard Sullivan				X
Mark Larkin	X			
John Burke	X			

The Vote on the Memorializing Resolution
offered by Kevin Thompson
on April 21, 2020, was as follows:

MEMBER	YES	NO	ABSTAIN	ABSENT
Mayor Edward Donovan			X	
Councilman Michael Mangan				
Neil B. Hamilton	X			
Kevin Thompson	X			
Robert Young			X	
Greg Love	X			
John Muly			X	
Barbara Ilaria				X
Mark Apostolou	X			
Leonard Sullivan				X
Mark Larkin	X			
John Burke	X			

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

October 20, 2021

Atlantic Modular Builders
75 Taylor Avenue
Manasquan, NJ 08736

Re: Block: 35 Lot: 19 Zone: R-2
MJN, LLC – 25 Broad Street

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Construct a new 2 ½ story two family dwelling.

Survey prepared by Jay Pierson on August 23, 2021. Plot plan prepared by Joseph Kociuba on September 2, 2021. Front yard average survey prepared by Joseph Marciano on August 23, 2021. Conceptual building plans prepared by Atlantic Modular Builders on October 7, 2021.

Application denied for the following reason(s):

Section 35-5.3 – R-2 Zone – Permitted Use – Only one single family dwelling permitted
Two single family dwellings proposed

Section 35-9.4 – Building Coverage – 30% Permitted
31.23 % Proposed

“ - Lot Coverage – 45% Permitted
68.27% Proposed

Section 35-5.2b – Accessory Use (Garage) – Rear Setback – 5ft. Required
3ft. Existing

“ “ “ - Side Setback (Right) – 5ft. Required
3ft. Existing

Section 35-5.2b - “ (Shed) – Building Area – 100s.f. Permitted
215s.f. Proposed

Section 35-13.4 – On Site Parking – 2 spaces/dwelling unit = 4 Spaces required
2 Spaces proposed

Section 35-7.8 – Porch/Deck – 124s.f. Required
90.5s.f. Proposed

Additional required documentation:

- Plot plan revised to comply with Section 28-1.3 (stormwater)
- Plot plan revised to show the removal of any trees on the property.

If you have any questions, please call me at 732-223-0544, ext. 256

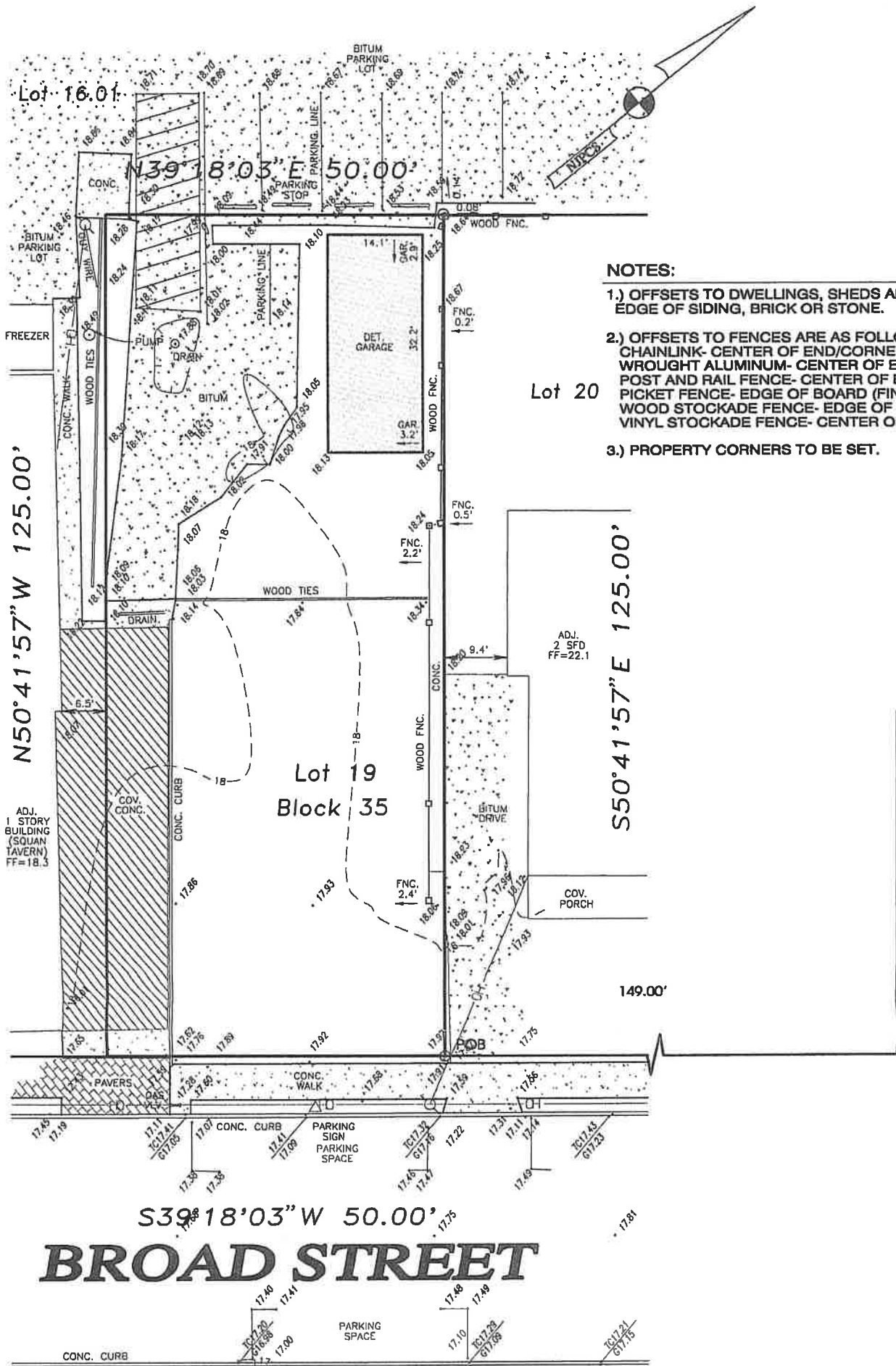
Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

LEGEND

- = MONUMENT FOUND
- = MONUMENT SET
- = CAPPED PIN FOUND
- = CAPPED PIN SET
- = IRON PIPE FOUND
- * = STONE FOUND
- ✕ = NAIL FOUND
- ✕ = NAIL SET
- OH— = OVERHEAD WIRES
- = UTILITY POLE
- = FIRE HYDRANT
- POB = POINT OF BEGINNING



NOTES:

- 1.) OFFSETS TO DWELLINGS, SHEDS AND BUILDINGS ARE TO EDGE OF SIDING, BRICK OR STONE.
- 2.) OFFSETS TO FENCES ARE AS FOLLOWS:
 CHAINLINK- CENTER OF END/CORNER POST
 WROUGHT ALUMINUM- CENTER OF END/CORNER POST
 POST AND RAIL FENCE- CENTER OF END/CORNER POST
 PICKET FENCE- EDGE OF BOARD (FINISHED SIDE)
 WOOD STOCKADE FENCE- EDGE OF BOARD (FINISHED SIDE)
 VINYL STOCKADE FENCE- CENTER OF END/CORNER POST
- 3.) PROPERTY CORNERS TO BE SET.

PREPARED FOR:
ATLANTIC MODULAR BUILDERS

DEED DESCRIPTION:

BEGINNING at a point in the northwesterly line of Broad Street (Mon. Co. Hwy. No. 20) (55') said point being distant 149.00' southwesterly from an iron pin found at the corner formed by the intersection of the northwesterly line of Broad Street and the southwesterly line of Beams Terrace running; thence

1. Along the northwesterly line of Broad Street S39°18'03"W (NJPCS 1983) 50.00' to a point; thence
2. N50°41'57"W 125.00' to a point; thence
3. N39°18'03"E 50.00' to a point; thence
4. S50°41'57"E 125.00' to the point or place of BEGINNING.

• NO ATTEMPT HAS BEEN MADE TO MAKE A TIDELANDS DETERMINATION ON THIS PROPERTY
 • NO ATTEMPT HAS BEEN MADE TO MAKE A WETLANDS DETERMINATION ON THIS PROPERTY
 • THIS SURVEY IS A REPRESENTATION OF CONDITIONS EXISTING ON THE PROPERTY OR IN DOCUMENTATION SUPPLIED AT TIME OF SURVEY EXCEPT SUCH EASEMENTS AND ENCROACHMENTS IF ANY THAT MAY BE LOCATED BELOW THE SURFACE OF THE LAND OR ON THE SURFACE OF THE LAND BUT NOT VISIBLE OR ANY OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 • THIS SURVEY IS MADE ONLY TO NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OR TO DELINEATE PROPERTY FOR NAMED PARTIES.
 • NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY OR TO ANY OTHER PERSON NOT LISTED EITHER DIRECTLY OR INDIRECTLY.
 • UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS ILLEGAL AND PUNISHABLE BY LAW.

SURVEY MAP		<p>East Coast Engineering, Inc. ENGINEERING LAND SURVEYING PLANNING GPS (732) 244-3030 VOICE 508 MAIN STREET (609) 893-2600 VOICE TOMS RIVER, NJ 08753 (732) 244-3044 FAX www.eceinc.net CERTIFICATE OF AUTHORIZATION No. 24GA27935600</p>
BLOCK 35 LOT 19		
BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY		
JOB No.: 2021-0376	TAX MAP SHEET No.: 5	
DRAWN BY: KRH	DEED BOOK / PAGE: 9378 / 5190	JAY F. PIERSON, PLS, PP ROBERT J. HARRINGTON, PE JASON M. MARCIANO, PE, PP
CHECKED BY: JFP2	UNITS: USFT	
SCALE: 1" = 20'	VERTICAL DATUM: NAVD 1988	
CONDITIONS AS OF: 08/04/2021	HORIZONTAL DATUM: NAD 1983	
 JAY F. PIERSON, L.S., P.P. NEW JERSEY PROFESSIONAL LAND SURVEYOR 27492 NEW JERSEY PROFESSIONAL PLANNER 02525		

SCANNED

EAST COAST ENGINEERING, INC.

Land Surveying – Engineering – Planning – GPS – GIS

508 Main Street
Toms River, NJ 08753
1-732-244-3030 ph
1-609-693-2600 ph
1-732-244-3044 fax
www.eceinc.net

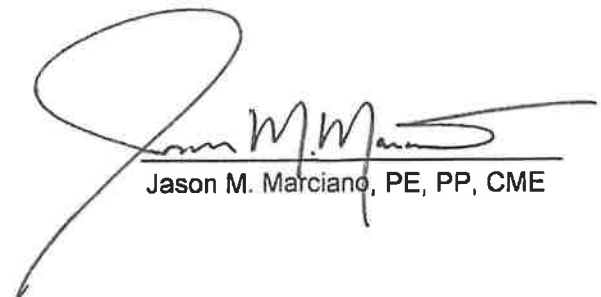
Jay F. Pierson, P.L.S., P.P.
Robert J. Harrington, P.E.
Jason M. Marciano, P.E., P.P.

AVERAGE FRONT SETBACKS WITHIN 200 FEET

SITE LOCATION: Block 35, Lot 19
MUNICIPALITY: Borough of Manasquan
PREPARED BY: Dustin L. Gibson

DATE PREPARED: 08/23/2021
JOB NUMBER: 2021-0376
REVIEWED BY: Jason M. Marciano, P.E., P.P.

Lot No.	Front Setback	Notes
15.01	4.6	Building
16.01	4.1	Building
20	20.8	Covered Porch
21	18.5	Enclosed Porch
22.01	19.3	Covered Porch
Average	13.5	



Jason M. Marciano, PE, PP, CME



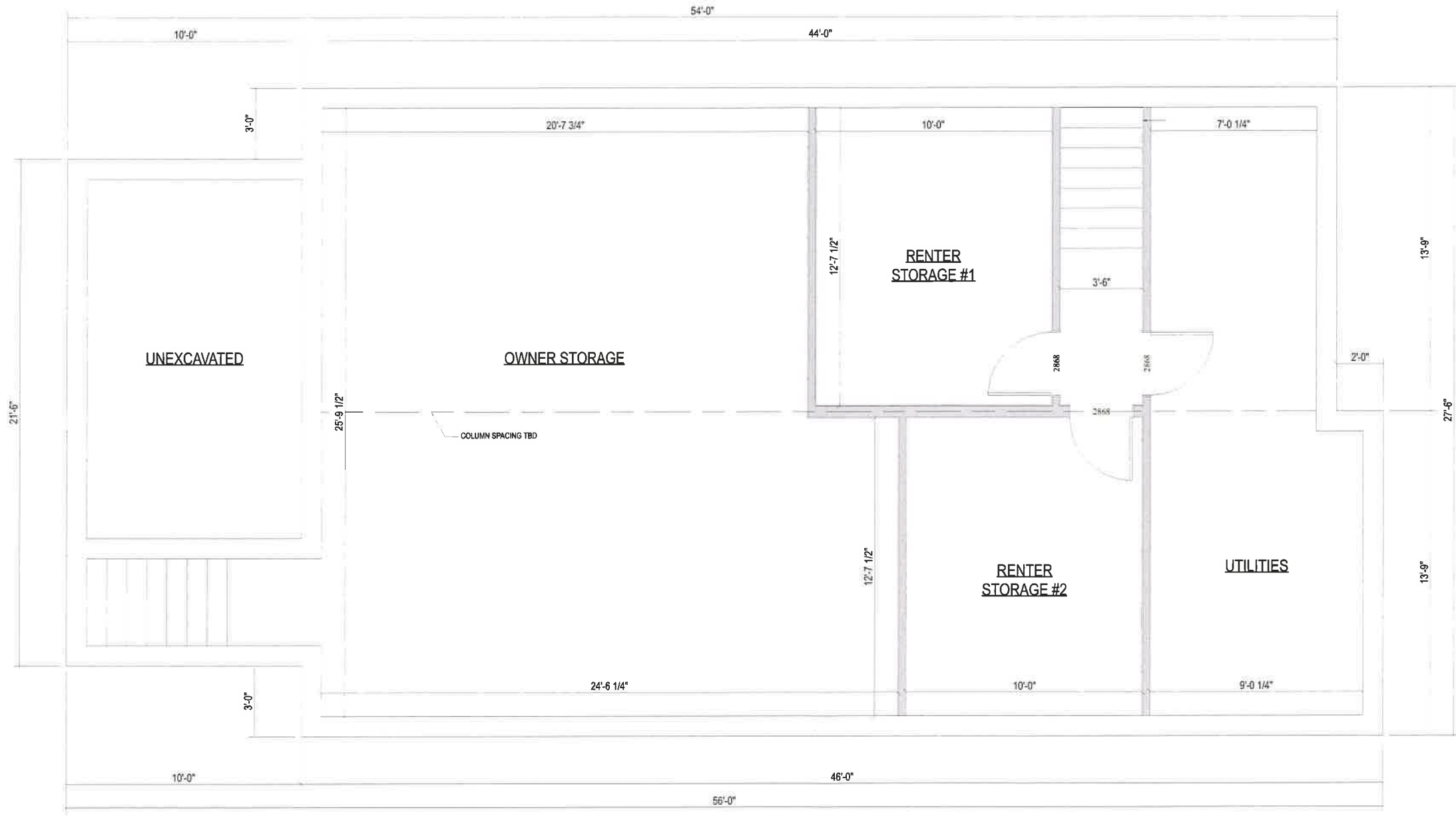
ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY

25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY

25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021



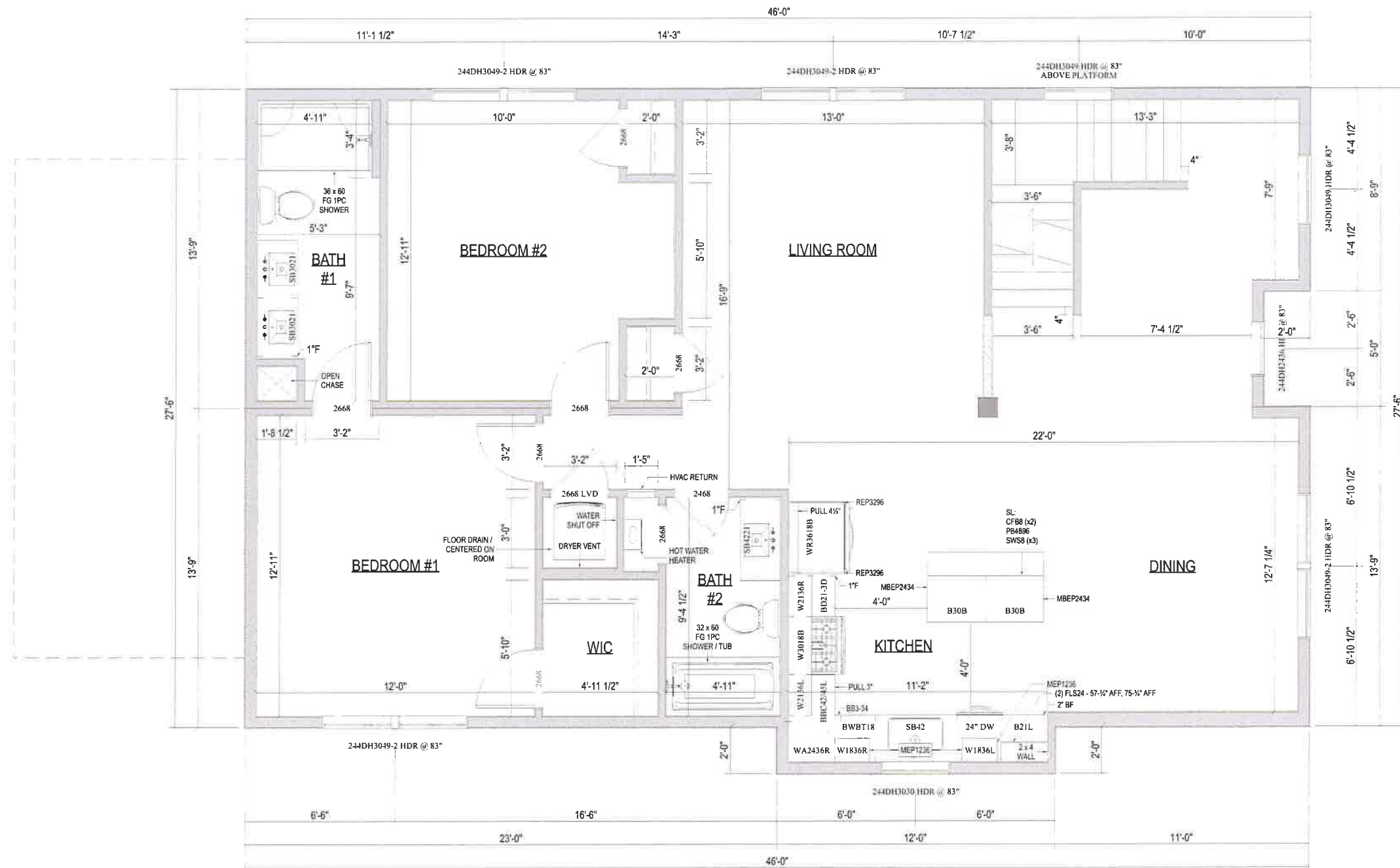
FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM
75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY
25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM
75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY
25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

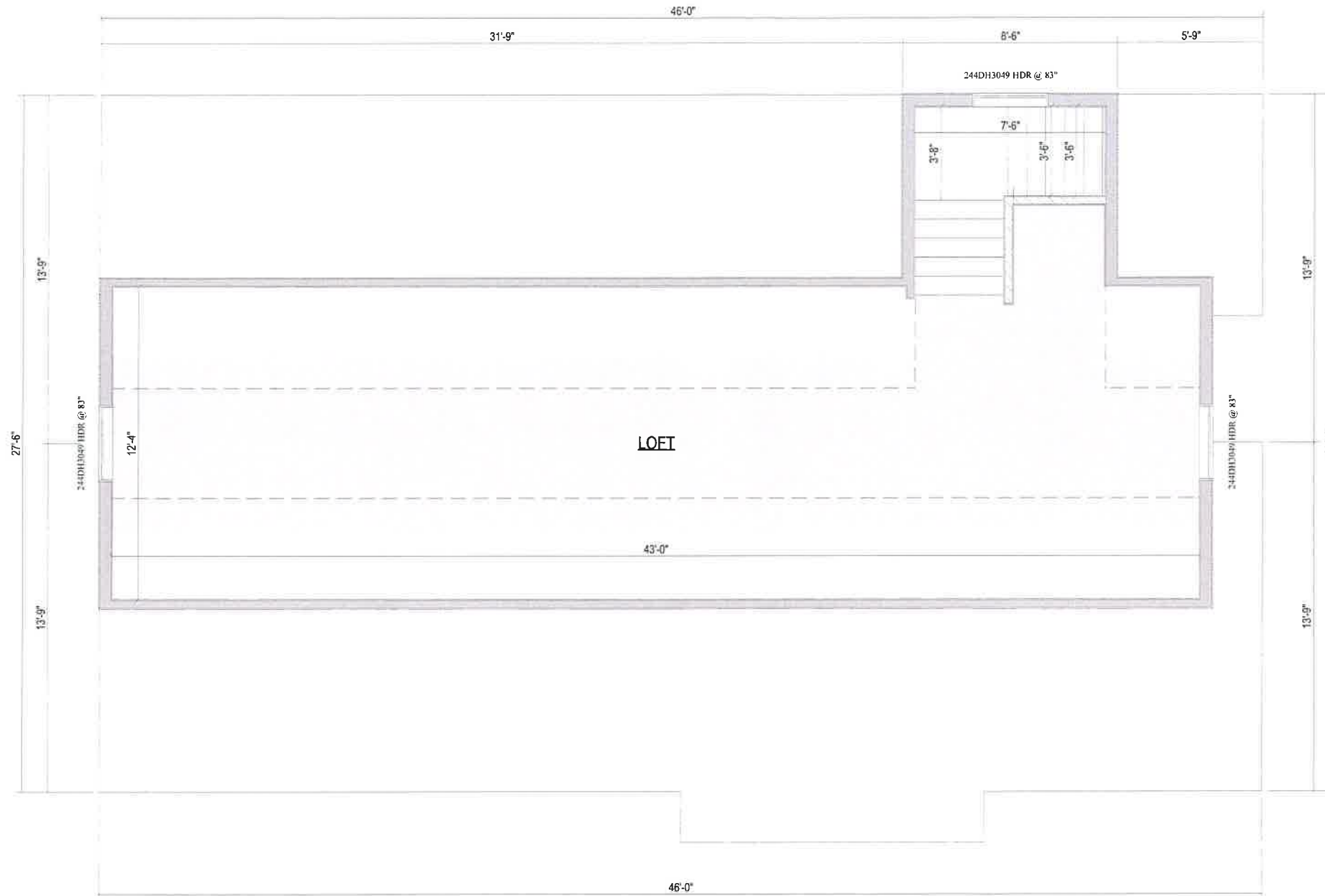
DATE:
10/7/2021

MANASQUAN HALF STORY CODE:

AREA OF HALF STORY W/ 5' OR MORE OF HEADROOM INCLUSIVE OF STAIRWELLS = 584 SQ FT

AREA OF FLOOR DIRECTLY BELOW HALF STORY = 1,279 SQ FT

RATIO OF HALF STORY W/ HEADROOM 5' OR MORE TO FLOOR BELOW = 45.66% WHERE MAXIMUM OF 60% IS PERMITTED



HALF STORY PLAN

SCALE: 3/16" = 1'-0"

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY

25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM
75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY
25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021

RIDGE EL: 52.09

34.71' TOTAL HEIGHT

AVG CURB EL: 17.38

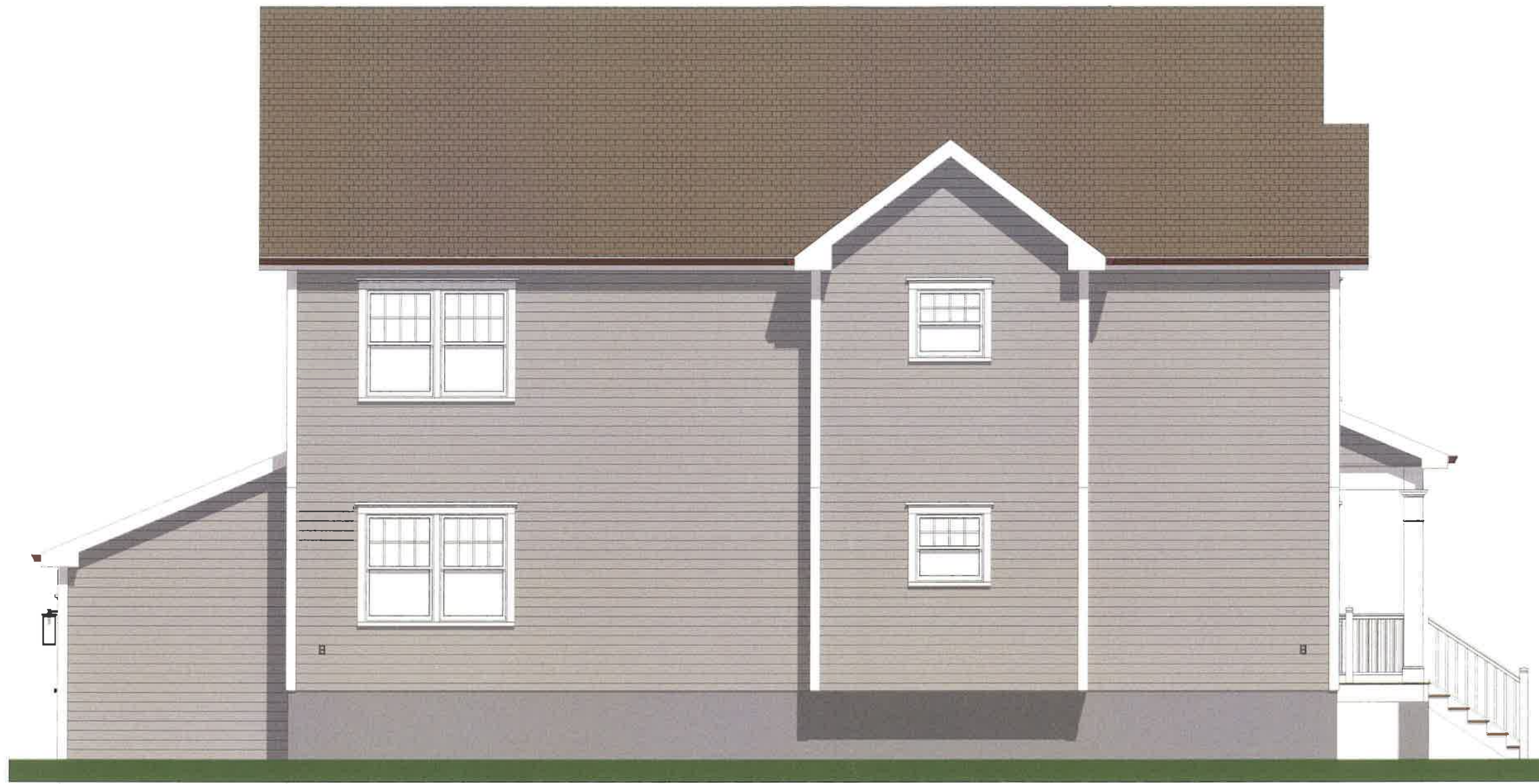


FRONT ELEVATION

SCALE: 3/16" = 1'-0"

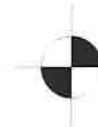
REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY

25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021

ATLANTIC MODULAR BUILDERS
WWW.AMBMODULAR.COM
75 TAYLOR AVENUE, MANASQUAN, NJ 08736
TEL. (732)528-8514 FAX. (732)528-8516
RYAN@AMBMODULAR.COM

BOSSONE MULTI-FAMILY
25 BROAD STREET, MANASQUAN
BLOCK - 35 / LOT - 19

DATE:
10/7/2021



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

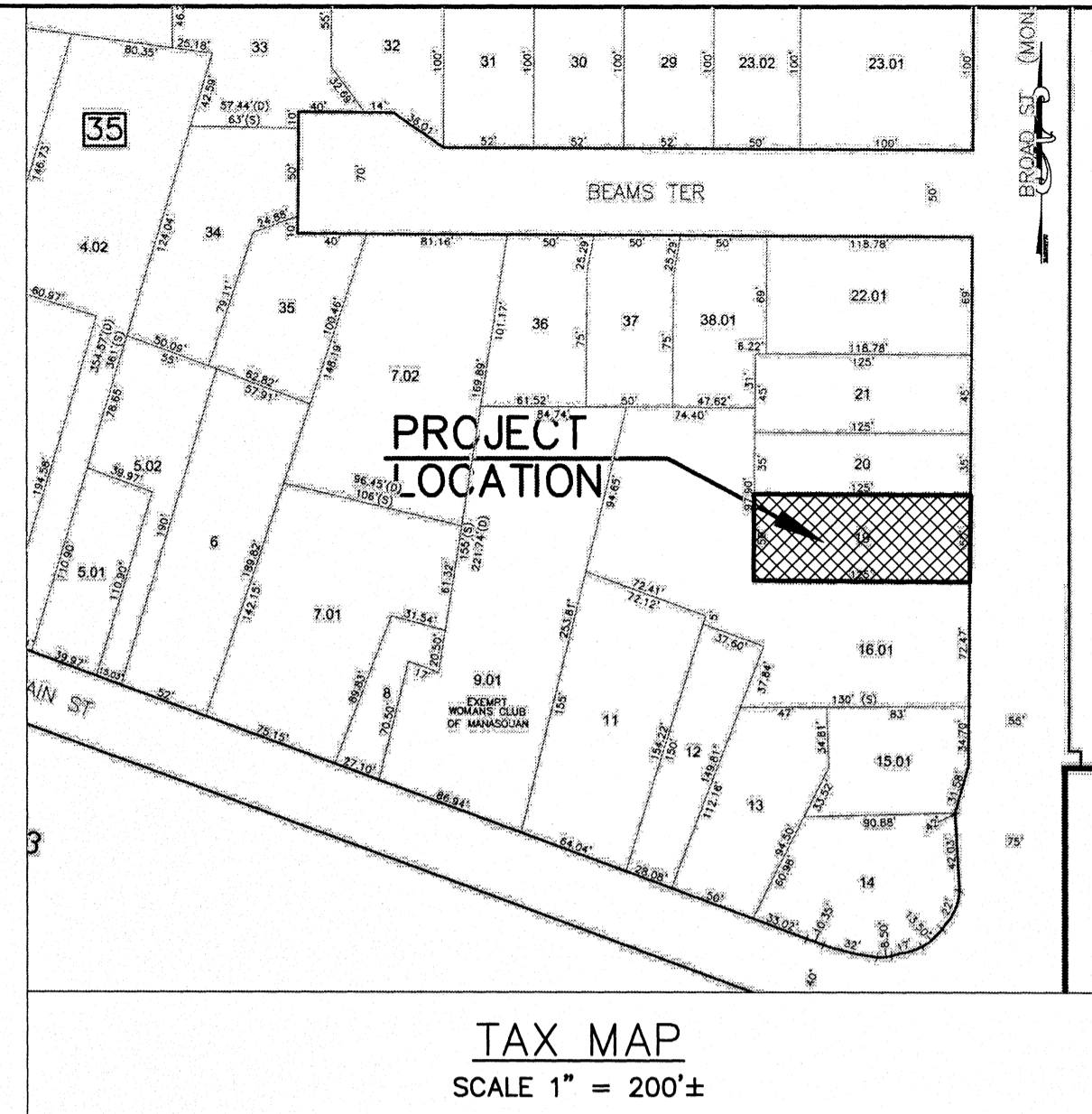
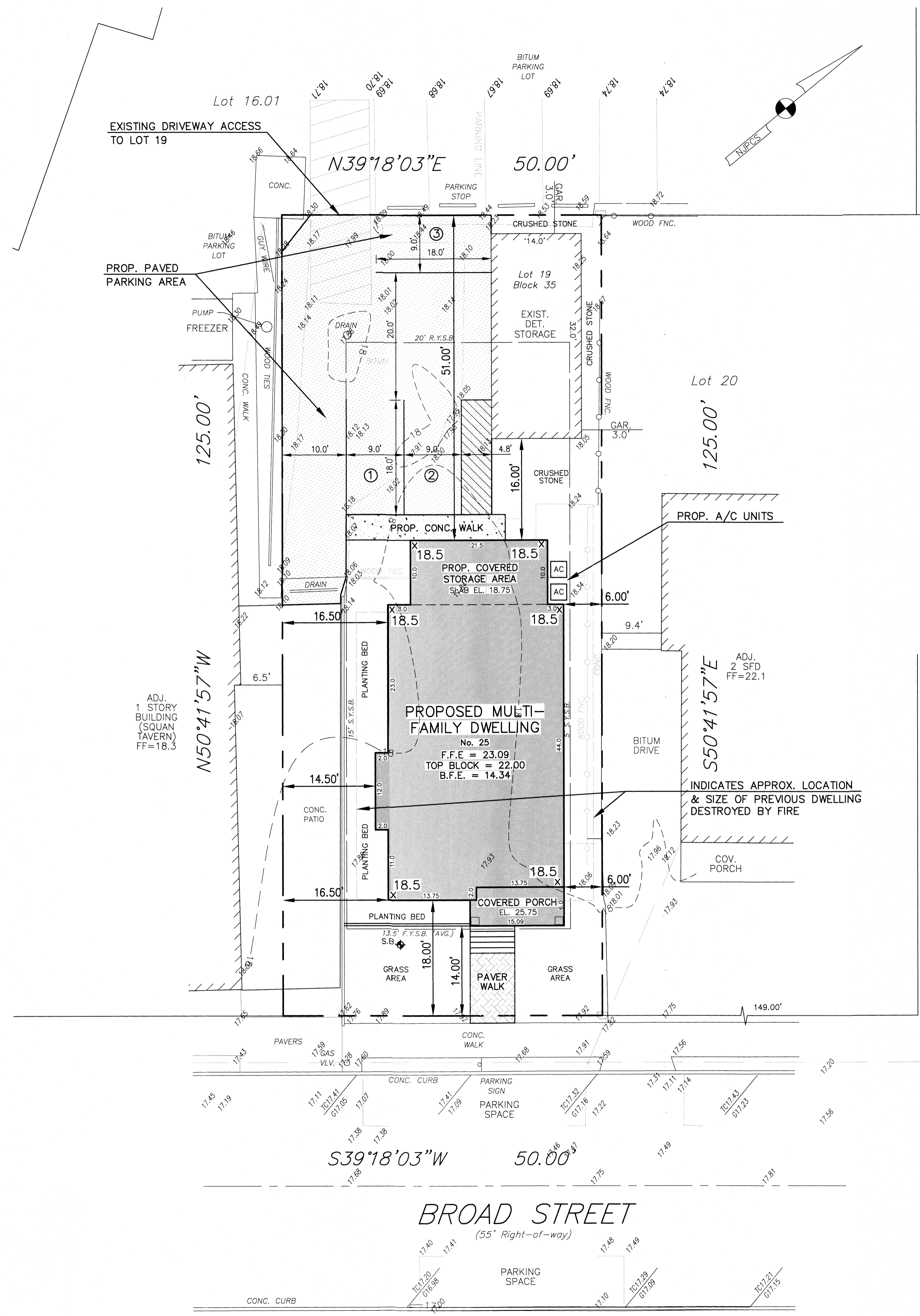
JONAS ENDRESON
 A Family of
DRILLING CONTRACTORS
 732-270-1200
 OCEAN COUNTY
 N.J. LIC #0001434
 9 Bayview Ave. P.O. Box 616
 Island Heights, New Jersey 08732
 Environmental / GeoTech Drilling Professional

SOIL BORING DESCRIPTION

FIRM: Atlantic Modular Homes
 CLIENT: _____
 LOT: _____
 TWP./BORO: Manasquan, NJ
 MISC. INFO: NE 25 Broad Street
 STATIC WATER LEVEL: 9'-4" (Matting)
 LOG BY: _____ DATE: June 30, 2021
 NOTE: Boring document must be reviewed by a Licensed Engineer/Architect

DEPTH	THICKNESS	DESCRIPTION	DEPTH	THICKNESS	DESCRIPTION
1			11	3'	sc. Compacted
2			12		
3			13		
4			14	3'	sp. Compacted
5	5'	sm/cr - Compacted	15		
6			16		
7			17		
8	3'	sm - Compacted	18	4'	sc/cr
9			19		
10			20	2'	sm

SE NOTE: It is good construction practice & a proven method to keep basement floors (2) two feet above Seasonal High Water. Boring location and elevation must be confirmed by a licensed Surveyor. Additional borings may be required by your engineer or Building Department.



GENERAL NOTES
 PROPERTY ID KNOWN AS BLOCK 35, LOT 19 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.1435± ACRES (6,250 S.F.)

APPLICANT: M.J.N. L.L.C.
 75 TAYLOR AVENUE
 MANASQUAN, N.J.

APPLICANT PROPOSES TO CONSTRUCT A NEW MULTI-FAMILY RESIDENCE

DESCRIPTION	REQUIRED/PERMITTED	EXISTING	PROPOSED
BUILDING USE	RESIDENTIAL	* TWO-FAMILY DWELLING	** TWO-FAMILY DWELLING
LOT AREA	5,000 S.F.	6,250 S.F.	6,250 S.F.
MIN. LOT FRONTAGE	50.0 FT.	50.0 FT.	50.0 FT.
FRONT YARD SETBACK (BROAD)	13.5 FT. (AVERAGE)	(1) 18.3 FT.	14.0 FT. (PORCH)
SIDE YARD SETBACK	5 FT.	*(1) 1.7 & 11.5 FT.	6.0 & 14.5 FT.
REAR YARD SETBACK	20 FT.	(1) 45.2 FT.	51.0 FT.
PRINCIPAL BUILDING COVERAGE	30 %	*(1) 31.76 % (1,985 SF)	** 31.23 % (1,952 SF)
MAX. TOTAL IMPERVIOUS	45 %	*(1) 70.88 % (4,430 SF)	** 68.27 % (4,267 SF)
MAX. BLDG. HEIGHT	35 FT. (2.5 STY)	(1) < 35 FT.	34.71 FT.
MIN. STORAGE	80 S.F.	454 S.F.	454 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR	N/A	88 S.F.
MIN. ACCESSORY SIDE SETBACK	5 FT.	*** 3.0 FT.	*** 3.0 FT.
MIN. ACCESSORY REAR SETBACK	5 FT.	*** 3.0 FT.	*** 3.0 FT.
MAX. ACCESSORY BLDG. HEIGHT	15 FT.	< 15.0 FT.	< 15 FT.

* - INDICATES EXISTING NON-COMFORMITY
 ** - INDICATES VARIANCE REQUIRED
 *** - INDICATES VARIANCE PREVIOUSLY GRANTED
 (1) - INDICATES PREVIOUSLY DESTROYED DWELLING

EXIST. IMPERVIOUS COVERAGE
 EXIST. DWELLING = 1,985 S.F. (31.76%)
 EXIST. FRONT WALK/STEPS = 98 S.F.
 EXIST. REAR WALKWAY = 100 S.F.
 EXIST. GARAGE = 448 S.F.
 EXIST. PAVED/CONC. DRIVEWAY = 1,799 S.F.
 TOTAL = 4,430 S.F. (70.88 %)

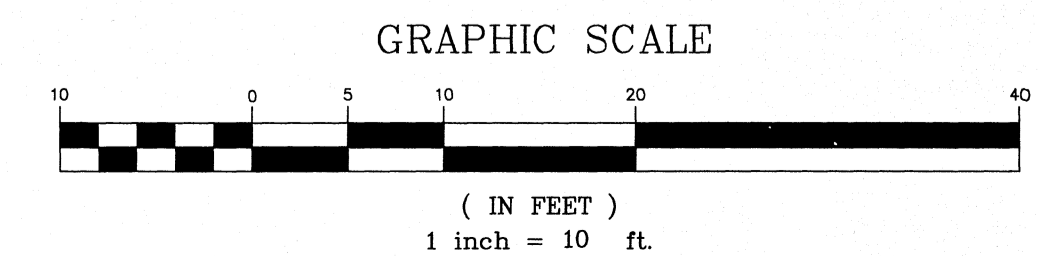
PROP. DWELLING CALCULATIONS
 PROP. DWELLING = 1,422 S.F.
 PROP. PAVED DRIVEWAY = 1,663 S.F.
 EXIST. STORAGE BLDG. = 448 S.F.
 TOTAL = 1,952 S.F. (31.23 %)

PROP. IMPERVIOUS CALCULATIONS
 PROP. DWELLING/PORCH/STORAGE = 1,952 S.F.
 PROP. PAVED DRIVEWAY = 1,663 S.F.
 EXIST. CONC. WALKWAY = 100 S.F.
 EXIST. CONC. AREA = 540 S.F.
 PROP. A/C UNITS = 12 S.F.
 TOTAL = 4,267 S.F. (68.27 %)

BUILDING HEIGHT CALCULATIONS
 TOP BLOCK & SILL = 22.25
 + HOUSE = 29.84
 RIDGE HEIGHT = 52.09
 - AVG. CURB = 17.38
 HOUSE HEIGHT = 34.71

PLAN NOTES
 1. EXISTING SEWER AND WATER SERVICES TO REMAIN AND TO BE REUSED.
 2. ELEVATIONS BASED ON NAVD 88 DATUM.
 3. AVERAGE TOP CURB ELEVATION ALONG PROPERTY FRONTAGE = 17.38

BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY RAGAN LAND SURVEYING P.C. DATED



REV. NO.	DATE	DESCRIPTION
PLOT PLAN		
25 BROAD STREET		
BLOCK 35 - LOT 19		
FOR M.J.N. L.L.C.		
BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY		
KBA ENGINEERING SERVICES LLC		277 Route 35, Bldg E, Ste 203 Manasquan, NJ 08736 P: (732) 722-8555 F: (732) 722-8557 Plans@KBEngineers.com Engineering Planning Certificate of Authority No.: 24GA0202050
DRN SW	CHK JK	PROJECT NO. 2021- SCALE AS SHOWN DATE 9/2/2021 SHEET 1 OF 1
JOSEPH J. KOCIUBA, P.E., P.P. P.E. License No.: GE45850		